

CITY COUNCIL

For City Clerk's Use:

APPROVED **DENIED**

Reso No. _____ File No. _____

Ord No. _____

Agenda Item No.: _____

Date: January 11, 2017

TO: Honorable Mayor and Members of the City Council

FROM: Mike Strong, Assistant Planning Director

SUBJECT: Two Alternative Master and Precise Development Plans and Zone Change for a Proposed Industrial Development at 1925 Harmony Grove Road (PHG 16-0012 and ENV 16-0008)

DESCRIPTION OF REQUEST:

It is requested that the City Council introduce Ordinance 2017-02 approving two alternative Master and Precise Development Plans and a Zone Change from R-1-7 (Single-Family Residential) to PD-I (Planned Development-Industrial) for a proposed industrial development on Harmony Grove Road, south of Enterprise Street, east of Pacific Oaks Place (APN 235-050-58). The two alternative plans are mutually exclusive. Master and Precise Development Plan A would consist of one 98,500 square-foot industrial building, and Master and Precise Development Plan B would consist of three industrial buildings and 86,010 total square feet. The proposal also includes the adoption of the environmental determination prepared for the project.

STAFF RECOMMENDATION:

It is recommended that the City Council introduce Ordinance No. 2017-02 (Attachment CC-1) approving the Innovative Industrial Center project, which includes two alternative Master and Precise Development Plans.

PLANNING COMMISSION RECOMMENDATION:

On December 13, 2016, the Planning Commission voted 4-1 (Chairman Weber opposed) to approve the project based on the findings and conditions contained in the attached Ordinance (2017-02).

FISCAL ANALYSIS:

None.

BACKGROUND:

The applicant's proposal is unique in that it includes two potential development scenarios. The applicant's preference (as described to staff) is to construct the single building in Master and

Precise Development Plan A. The applicant is currently negotiating with an undisclosed potential tenant that is specifically looking for a building of this size that can be constructed expeditiously. Master and Precise Development Plan B is being presented as a multi-tenant alternative in the event the prospective tenant for the single building does not sign. The three buildings proposed in Plan B nearly fit within the footprint of the building in Plan A. Access and parking for both options is similar as well. Please refer to the attached Planning Commission staff report for a full description and analysis of the project.

PLANNING COMMISSION RECOMMENDATION AND SUMMARY:

The alternative Master and Precise Development Plans and Zone Change application were presented, reviewed, and considered by Planning Commission at their December 13, 2016 meeting. The only public speaker that addressed the Commission was the project proponent. (No other public comments were received at the Planning Commission hearing.) For the most part the project proponent spoke in favor of staff's recommendation, excepting staff's recommendation to limit the number of monument signs allowed on the property. The proposed site plan shows monument signs in four optional locations. The project proponent requested allowance for a third monument sign, which exceeded the allowances set forth by Section 33-1395 of the Zoning Code (which controls the amount of monument signage permitted in the industrial zones). However, because the proposed PD-I zoning designation would establish its own zoning standards, the project is not subject to the underlying zoning requirements. In consideration of the applicant's request, the Commission discussed the intent of the regulations and the request for increased signage for the project. The Commission ultimately agreed to modify the condition to allow a third monument sign, provided that the sign was utilized to identify the industrial center, rather than a particular tenant. The commissioners did not express any concerns regarding the rezone request, land use activity, or project design in their discussion. The Commission is recommending approval of the proposed industrial development, by a vote of 4-1, based upon the findings and conditions as modified.

GENERAL PLAN ANALYSIS:

The General Plan land-use designation for the project site is Light Industrial (LI), and the proposed industrial project and Planned Development Industrial zoning (PD-I) would be consistent with this land-use designation. The project site currently is zoned as single-family residential (R-1-7) and a zone change to Planned Development-Industrial (PD-I) is proposed to facilitate development of the project in accordance with Chapter 33, Article 26 of the Zoning Code that encourages the planned development process for industrial park type development. The project would be consistent with the General Plan industrial land use goal of providing "a variety of industrial uses located and designed to assure compatibility with adjoining land uses offering diverse jobs for the community."

ENVIRONMENTAL REVIEW:

A Draft Initial Study/Mitigated Negative Declaration (City File No. ENV16-008) was issued for the project for a 20-day public review period in conformance with the California Environmental Quality Act (CEQA). The findings of the environmental review identified some effects, but design and minimization measures, revisions in the project plans, and/or mitigation measures



agreed to by the applicant would provide mitigation to a point where potential impacts are reduced to less than a significant level. No evidence has been submitted or discovered, in light of the whole record before the public agency that the project, as revised, may have a significant effect on the environment. The IS/MND is adequate for this project at this location.

As noted in the attached Planning Commission staff report, traffic mitigation is necessary for off-site roadway improvements to improve traffic flow. The applicant or project proponent will have to widen Harmony Grove Road within the existing right-of-way along the project frontage to Enterprise Street to provide a two-way left-turn lane serving as a refuge for left-turning vehicles in and out of the project site and nearby industrial driveways, thus allowing for improved flow for through traffic along Harmony Grove Road. From the project driveway to Enterprise Street (a length of approximately 415 feet), the applicant or project proponent will also have to widen Harmony Grove Road extending north along the project frontage to provide a 13- to 18-foot northbound lane and an 11-foot two-way left-turn lane. The applicant or project proponent will also have to pay a fair share toward the Citracado Parkway Extension Project to improve and redirect the flow of traffic along this roadway. With the implementation of the mitigation measures and conditions of approval, the project is not expected to have any significant impacts, either short-term or long-term.

The Final Mitigated Negative Declaration may be viewed on the City's web site at the following link listed below:

<https://www.escondido.org/escondido-innovation-center.aspx>.

Please note that staff did not receive any comments from surrounding property owners or the general public during the 20-day public review period or any time thereafter, as of this writing.

Respectfully Submitted,

Bill Martin
Director of Community Development

Mike Strong
Assistant Planning Director

DRAFT Planning Commission Minutes December 13, 2016

Chairman Weber referenced the last paragraph on Page 1 of the staff report and asked if the operating cost would be offset. Mr. McKinney replied in the affirmative. The risk to the project was the potential for downtime, noting this was the importance for coordinating maintenance.

Commissioner Spann felt the energy used to burn the flare was a waste of a resource. Mr. McKinney concurred.

Arthur Devine, Escondido, stated that he respected the contractor and was in favor of the project. He asked if the proposed system went to the second depth degree and operated at a 500/600 degree temperature that was essential or just burning the digester gas.

ACTION:

Moved by Commissioner Spann, seconded by Chairman Weber, to approve staff's recommendation. Motion carried unanimously. (5-0)

3. MASTER AND PRECISE DEVELOPMENT PLAN; ZONE CHANGE – PHG 16-0012; ENV 16-0008:

REQUEST: The project is a Master Precise Development Plan along with a Zone Change for an industrial development, bioretention areas, two access driveways, and parking on 5.76 acres. There are two proposed development options considered as part of this application. Option A would consist of one 98,500-square-foot industrial building with 197 parking spaces. Option B would consist of three industrial buildings (Buildings A, B, and C) with a total square footage of 86,010 square feet with 234 parking spaces. Under both project Option A and Option B, project grading would include approximately 18,000 cubic yards of import to raise the elevation of the site above the 100-year flood elevations. The project would also include landscaping within proposed parking areas, walkways, and along the project perimeter. The total maximum height of all industrial structure(s) would not exceed 38 feet in height. A rezone would be required to change the zoning from existing single-family residential (R-1-7) to Planned Development Industrial (PD-I) to be consistent with the General Plan land use designation of Light Industrial (LI). The proposal also includes the adoption of the environmental determination prepared for the project.

PROPERTY SIZE AND LOCATION: The 5.76-acre project site is generally located west of Interstate 15 and south of State Route 78, at the eastern terminus of Enterprise Street and south and east of Harmony Grove Road. The project site address is 1925 Harmony Grove Road.

DRAFT Planning Commission Minutes December 13, 2016

ACTION:

Moved by Vice-chairman McQuead, seconded by Commissioner Weiler, to approve staff's recommendation. The motion included allowing a third monument sign, limited to identifying the industrial center and not a particular tenant. Motion carried. Ayes: Spann, McQuead, Romo, Weiler. Noes: Weber. (4-1)

CURRENT BUSINESS:

1. A Precise Development Plan (**PHG 16-0017**) for the removal of an existing 9,904-SF retail building at the southeast point of the Del Norte Plaza shopping center, to be replaced with a new 2,200-SF Starbucks restaurant.

Location: 302 W. El Norte Pkwy

Ann Dolmage, Associate Planner, reference the staff report and noted staff issues were the compatibility of the proposed building design with the overall design of Del Norte Plaza shopping center, consistency of the proposed signs with the approved sign program for the shopping center and the City's sign ordinance, the potential for project-related traffic impacts on the streets surrounding the project site, adequacy of the shopping center's parking supply for the proposed use, and adequacy of the proposed drive-through lane in terms of location and vehicle capacity. Staff recommended approval based on the following: 1) The project as proposed will comply with all applicable development standards of the subject zone, including parking, lot coverage, and setbacks, and will be required to comply with all applicable Building and Fire codes through the standard plan checking process. The proposed project design is compatible with the surrounding types of use and structures. Although there are some contextual differences in the proposed design from what is present today, the proposed colors, materials and architectural features are well-coordinated and complementary to the site and its surroundings and would enhance the appearance of the commercial center and the neighborhood; 2) A comprehensive master sign program was approved for Del Norte Plaza in 1984, with modifications in later years that affected the center's monument signs and three large pylon signs. The Starbucks project proposes several new wall signs (both text and logo), directional signs, and menu board signs to identify the business and its products and enhance wayfinding for the drive-through. Staff believes the proposed signs would be consistent with the comprehensive sign program, and the logo signs proposed for all four building elevations would be in proportion to the size of the building. The proposed signage relates well to the physical appearance of the subject building and is uniform in scale and proportion to the rest of the commercial center. The colors and materials of the signs relate well to each other and to the exterior appearance of the buildings. A more detailed discussion on project signage is included in the Analysis section of this staff report; 3) The applicant has provided a traffic

CASE NUMBER: PHG 16-0012, ENV 16-0008

APPLICANT: Badiie Development Inc.

LOCATION: The 5.76-acre project site is located west of Interstate 15 and south of State Route 78, at the eastern terminus of Enterprise Street and south and east of Harmony Grove Road, addressed as 1925 Harmony Grove Road (APN 235-050-58).

TYPE OF PROJECT: Master and Precise Development Plan and Zone Change

PROJECT DESCRIPTION: The project is a Master and Precise Development Plan for industrial development, bioretention areas, two access driveways, and parking on 5.76 acres. There are two proposed development options considered as part of this application. Option A would consist of one 98,500-square-foot industrial building with 197 parking spaces. Option B would consist of three industrial buildings (Buildings A, B, and C) with a total square footage of 86,010 square feet with 234 parking spaces. Under both project Option A and Option B, project grading would include approximately 18,000 cubic yards of import to raise the elevation of the site above the 100-year flood elevations. The project would also include landscaping within proposed parking areas, walkways, and along the project perimeter. The total maximum height of all industrial structure(s) would not exceed 38 feet in height. A rezone would be required to change the zoning from existing single-family residential (R-1-7) to Planned Development Industrial (PD-I) to be consistent with the General Plan land-use designation of Light Industrial (LI). The proposal also includes the adoption of the environmental determination prepared for the project.

GENERAL PLAN DESIGNATION: Light Industrial (LI)

ZONING: Existing: R-1-7 (Single-Family Residential, 7,000 SF min. lot size); Proposed: PD-I (Planned Development-Industrial)

BACKGROUND/SUMMARY OF ISSUES: In 2012, the residents of the City of Escondido ratified a local ballot measure that approved the Escondido General Plan Update. The updated General plan establishes a new "blueprint" for future growth, including a proposal to re-designate up to 458 acres of high quality employment land uses. These concentrated employment areas are located in different transition areas of the city. One of the focused areas of land-use change includes approximately 17 acres of newly designated industrial land in the Harmony Grove Road vicinity. The property located at 1925 Harmony Grove Road, associated with this Master and Precise Development Plan application (Planning Case PHG 16-0012), consists of about 5.6 of those 17 re-designated acres. Although the General Plan designates the property as Light Industrial, the underlying R-1-7 zoning designation must be changed to an industrial zoning designation to be consistent with the General Plan and to facilitate the appropriate type of development for the site. Badiie Development, Inc. submitted a request to construct an industrial building(s) and re-establish zoning consistency for the subject property.

The applicant's proposal is unique in that it includes two potential development scenarios described as Option A and Option B. The applicant's preference (as described to staff) is to construct the single building Option A. The applicant is currently negotiating with an undisclosed potential tenant that is specifically looking for a building of this size that can be constructed expeditiously. Option B is being presented as a multi-tenant alternative in the event the prospective tenant for the single building does not sign. The three buildings proposed in Option B nearly fit within the footprint of the Option A building. Access and parking for both options is similar as well.

A similar rezone request and industrial development project, located immediately adjacent to this site at 2005 Harmony Grove Road, was approved by the Planning Commission on August 9, 2016; and approved by the City Council on September 14, 2016 (PHG 15-0042).

Staff feels the issues are as follows:

1. Appropriateness of the proposed Planned Development-Industrial zoning designation.

2. Whether the proposed Planned Industrial project is compatible with adjacent industrial and residential development.

REASONS FOR STAFF RECOMMENDATION:

1. The General Plan land-use designation for the project site is Light Industrial (LI), and the proposed industrial project and corresponding Planned Development Industrial zoning (PD-I) would be consistent with this land-use designation. The industrial development provisions (Zoning Code Article 26) encourage the planned development process for industrial park type development. The project would be subject to the Industrial Park (IP) land-use provisions and list of allowed uses as part of the Master Plan details and project conditions. The Industrial Park zoning provisions and corresponding Planned Development-Industrial zoning is appropriate for the subject site due to the adjacent Specific Plan and Industrial Park zoning to the west and south.

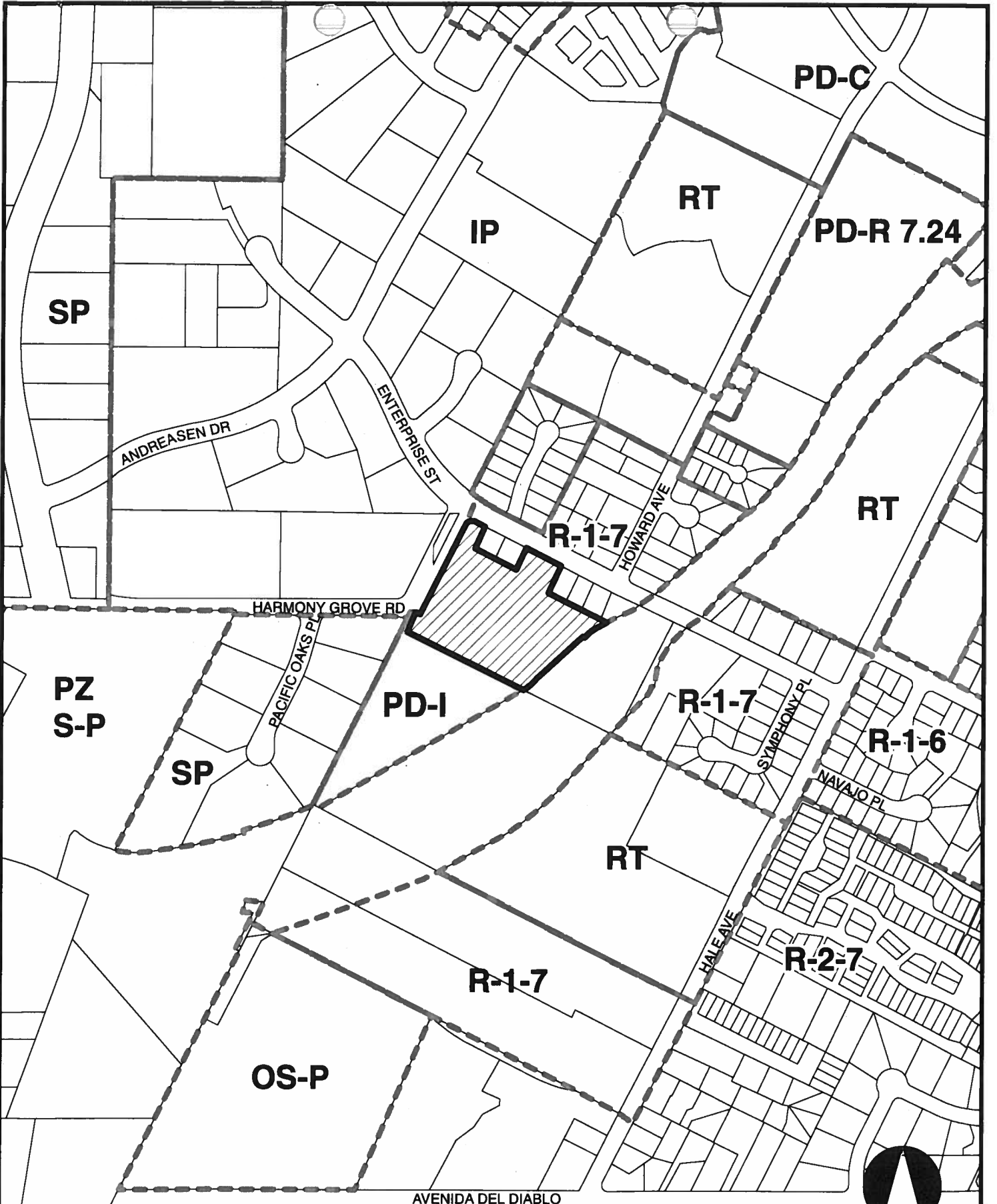
The proposed PD-I designation ensures compatibility with the quality of the surrounding industrial development and limits the site to lower intensity industrial and office type uses to avoid potential conflicts with nearby residential development.

2. The proposed project would be consistent with the General Plan industrial land-use goal of providing "a variety of industrial uses located and designed to assure compatibility with adjoining land uses offering diverse jobs for the community." Staff believes the overall site design, building setbacks, landscaping and building architecture create a well-integrated and high quality planned industrial development that is compatible with other industrial park development throughout the area.

Respectfully Submitted,

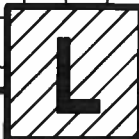


Mike Strong
Assistant Planning Director

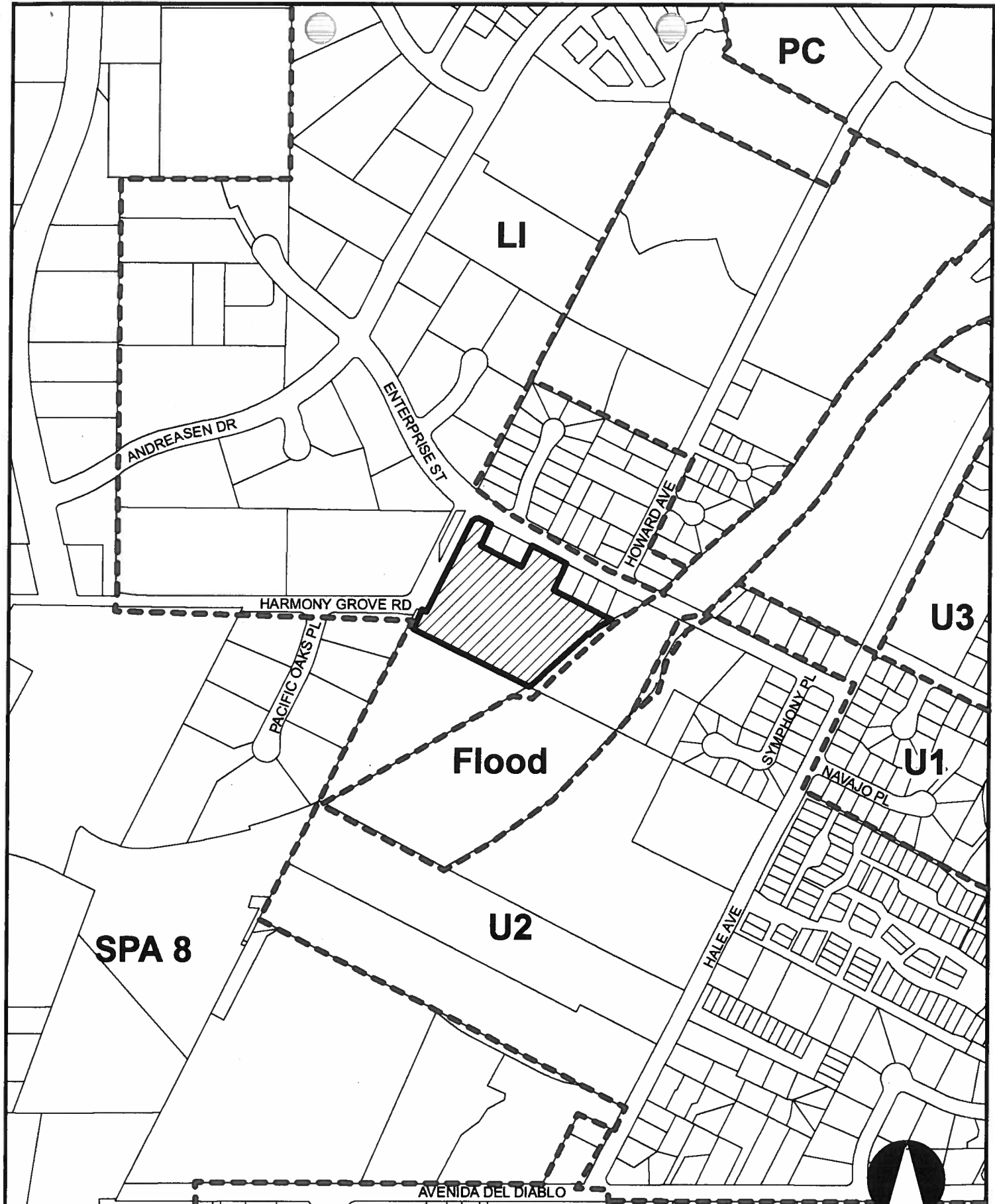


Portions of this derived product contain geographic information copyrighted by SanGIS. All rights reserved.

**PROPOSED PROJECT
PHG 16-0012**



LOCATION/ZONING



Portions of this derived product contain geographic information copyrighted by SanGIS. All rights reserved.

**PROPOSED PROJECT
PHG 16-0012**



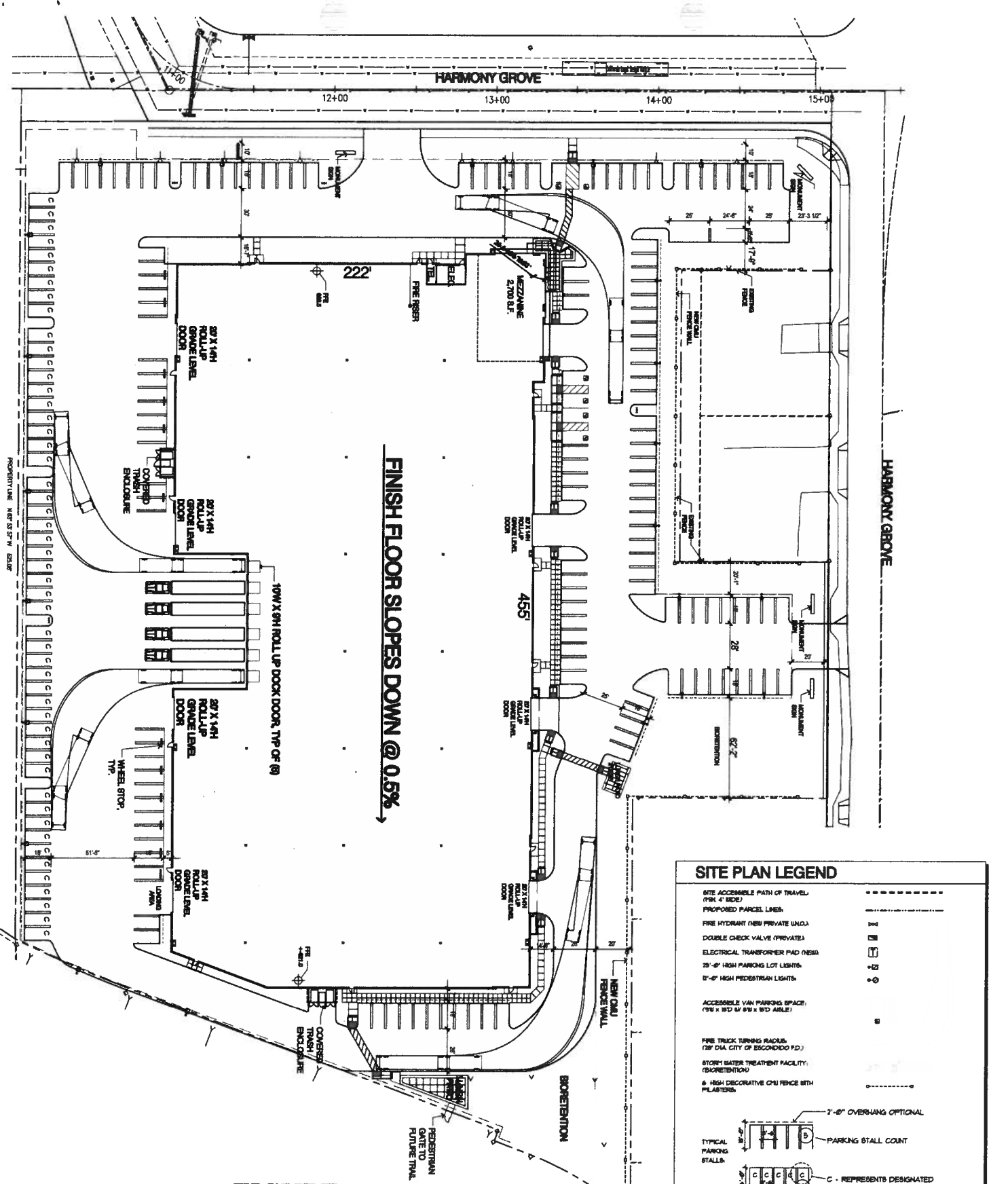


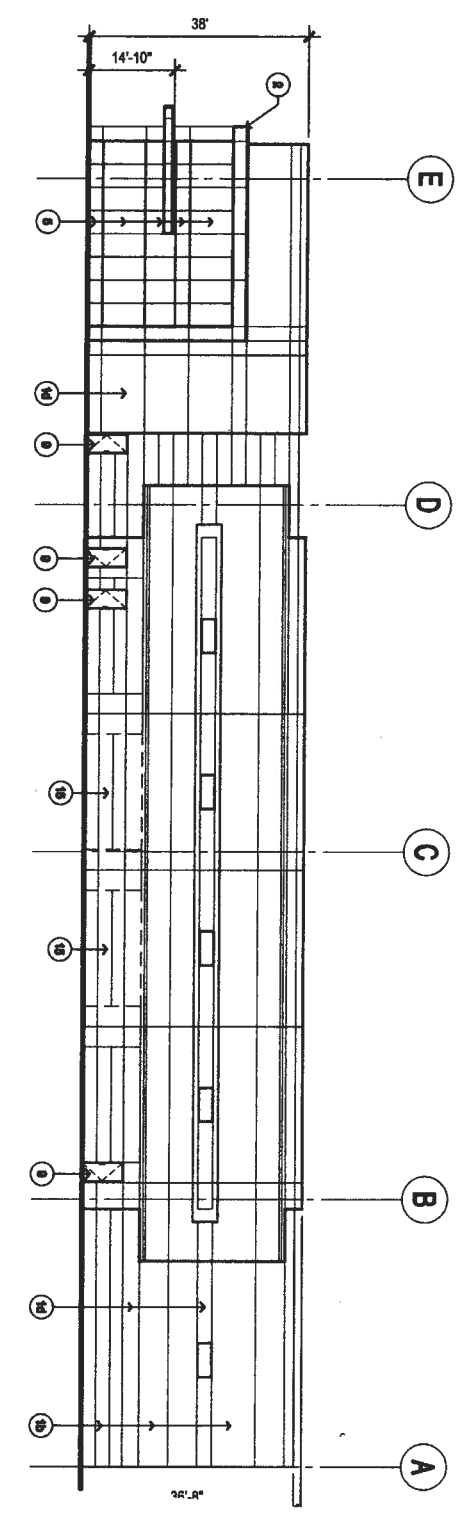
FIGURE 4

Option A – Preliminary Site Plan

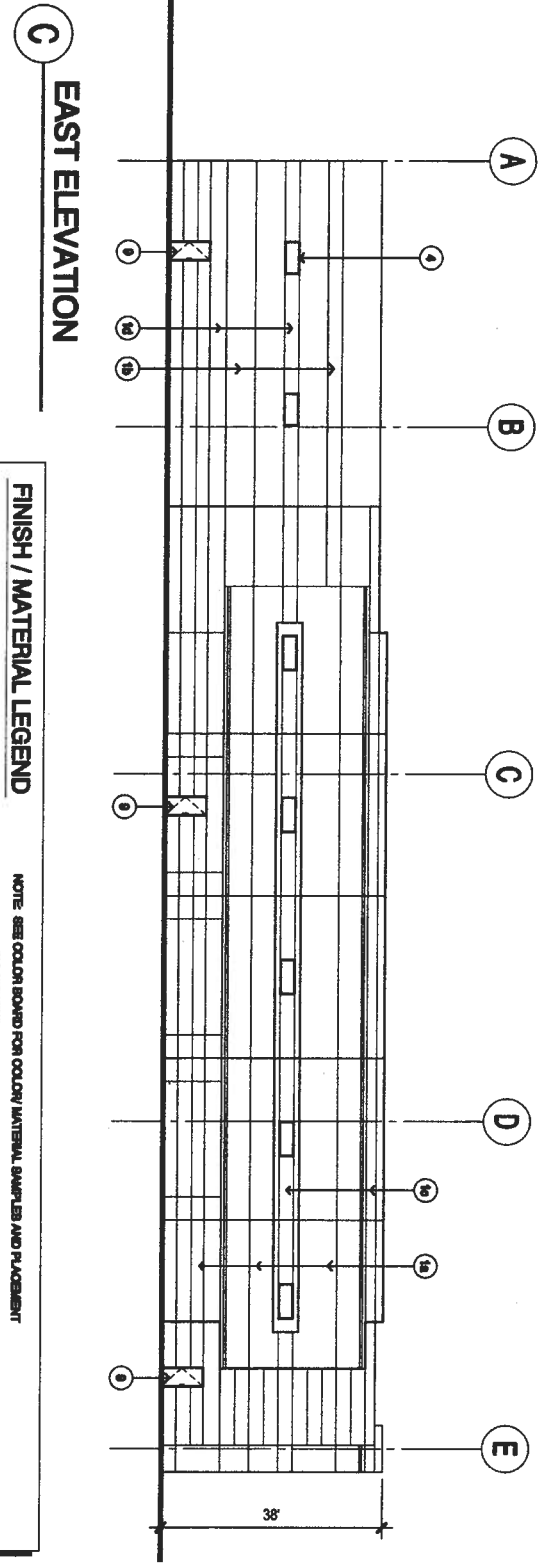
**PROPOSED PROJECT
PHG 16-0012**

SP

[PRELIMINARY] SITE PLAN



B WEST ELEVATION



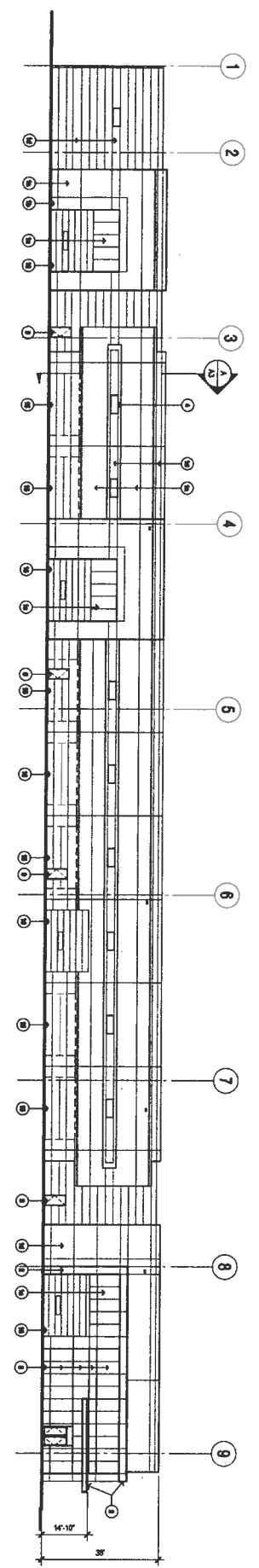
C EAST ELEVATION

FINISH / MATERIAL LEGEND

NOTE: SEE COLOR BOARD FOR COLOR MATERIAL SAMPLES AND PLACEMENT

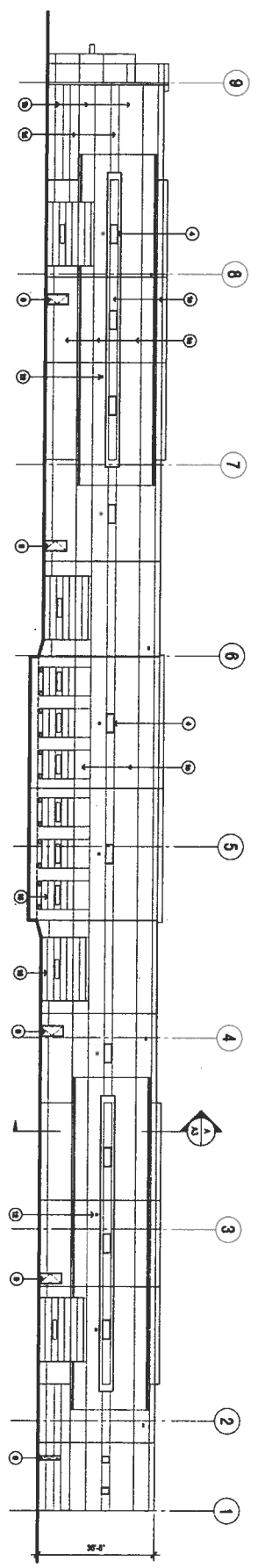
<ul style="list-style-type: none"> 1A PAINTED CONCRETE WALL PANEL: SHERWIN WILLIAMS- 8 1B COLOR SW 6000 SMOKEWALL 1C PAINTED CONCRETE WALL PANEL: SHERWIN WILLIAMS- 8 1D COLOR SW 5800 CHELSEA GRAY 1E PAINTED CONCRETE WALL PANEL: SHERWIN WILLIAMS- 8 1F COLOR SW 7007 CITYSCAPE 1G PAINTED CONCRETE WALL PANEL: SHERWIN WILLIAMS- 7 1H COLOR SW 7007 CITYSCAPE 1I PAINTED CONCRETE WALL PANEL: SHERWIN WILLIAMS- 8 1J COLOR SW 6100 ENIGLESS SEA 1K METAL CANOPY ROOFING TRIM/PANCA 1L not used 1M CLEAN ANODIZED ALUMINUM STOREFRONT SYSTEM w/ BRIMBLE PANE TINTED GLAZING 1N not used 	<ul style="list-style-type: none"> 2A CLEAN ANODIZED ALUMINUM STOREFRONT SYSTEM w/ HIGH PERFORMANCE TINTED GLAZING, STYLE 69 2B INSULATING GLASS UNIT, COLOR: SOLARCOOL, PANCROIA + CLEAR 2C CLEAN ANODIZED ALUMINUM SYSTEM w/ SPANREL GLAZING TO MATCH ADJACENT GLAZING 2D FTLD. INT. MAIN DOOR, COLOR TO MATCH ADJACENT WALL 2E NARROW STYLE CLEAN ANODIZED ALUMINUM FRAME STOREFRONT DOOR, FINISH AND GLAZING TO MATCH ADJACENT STOREFRONT 2F INT. ROLLUP DOOR w/ GLAZING TO MATCH SOLARCOOL PANCROIA 2G not used 2H V-GROOVE REVEAL IN CONCRETE PANEL 2I WALL PACK LIGHT FIXTURE 2J not used 2K not used 2L FUTURE INNOCK OUT PANEL, (SHOWN DASHED) 2M PAINTED ALUMINUM HIGH-LIFT SECTIONAL DOOR WITH GLAZED PANELS, GLAZING IN ACRYLIC VERSION PANELS TO MATCH BUILDING WINDOW GLAZING
--	--

FIGURE 5
Option A - Elevations



A NORTH ELEVATION

0 Feet 20



D SOUTH ELEVATION

0 Feet 20

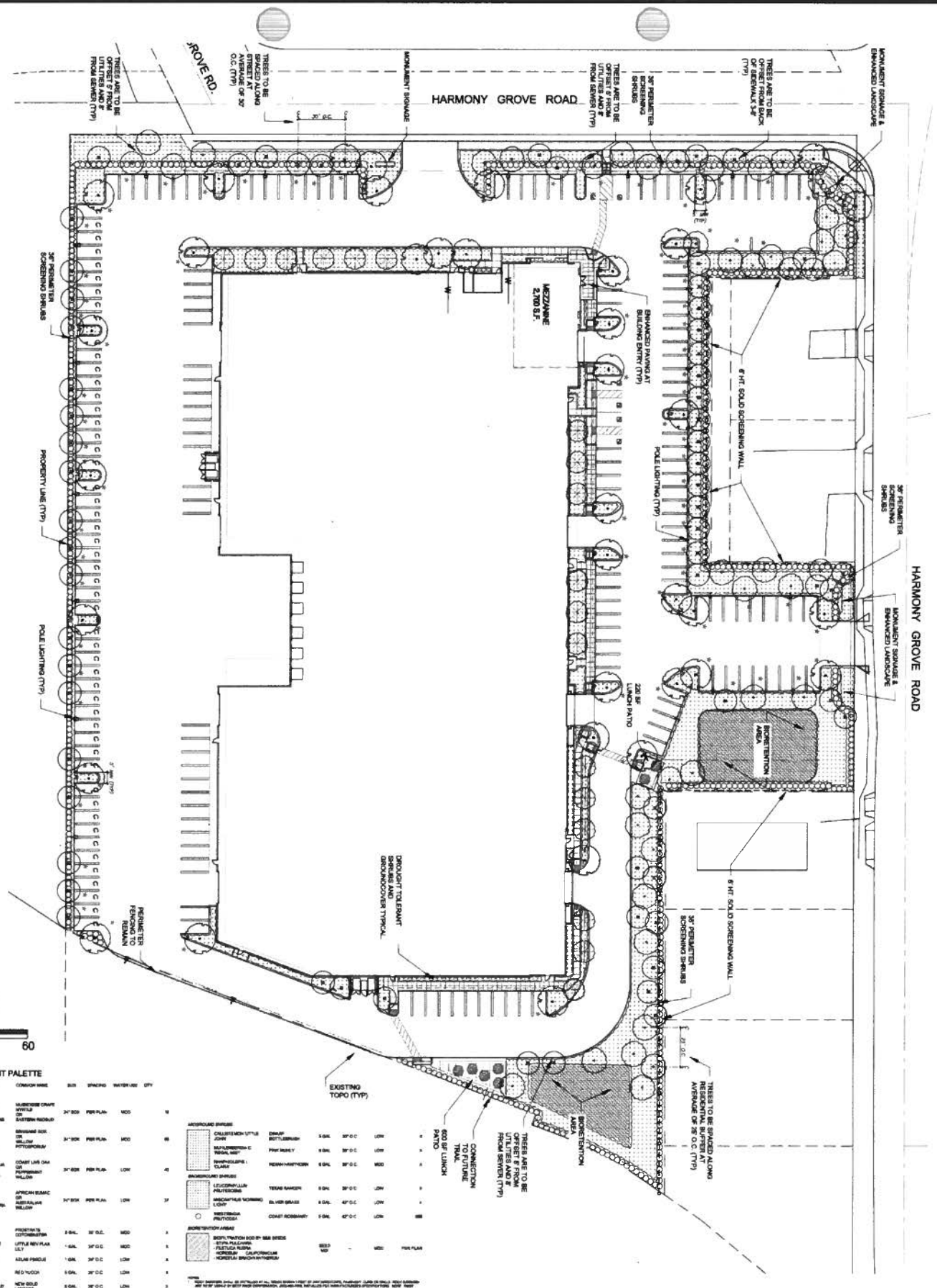
FINISH / MATERIAL LEGEND

- NOTE: SEE COLOR BOARD FOR COLOR MATERIAL SAMPLES AND PLACEMENT
- 19 PAINTED CONCRETE WALL PANEL: SHERWIN WILLIAMS
 - 18 PAINTED CONCRETE WALL PANEL: SHERWIN WILLIAMS
 - 17 PAINTED CONCRETE WALL PANEL: SHERWIN WILLIAMS
 - 16 PAINTED CONCRETE WALL PANEL: SHERWIN WILLIAMS
 - 15 PAINTED CONCRETE WALL PANEL: SHERWIN WILLIAMS
 - 14 PAINTED CONCRETE WALL PANEL: SHERWIN WILLIAMS
 - 13 PAINTED CONCRETE WALL PANEL: SHERWIN WILLIAMS
 - 12 PAINTED CONCRETE WALL PANEL: SHERWIN WILLIAMS
 - 11 V-GROOVE REVEAL IN CONCRETE PANEL
 - 10 WALL PACK LIGHT FIXTURE
 - 9 CLEAN ANODIZED ALUMINUM STOREROOM SYSTEM w/ HIGH PERFORMANCE TINTED GLAZING STYLE: (9) INSULATING GLASS UNIT. COLOR: SOLARCOOL PACIFICA + CLEAN
 - 8 CLEAN ANODIZED ALUMINUM SYSTEM w/ SPANDREL GLAZING TO MATCH ADJACENT GLAZING
 - 7 FTD. MTL. MAIN DOOR. COLOR TO MATCH ADJACENT WALL
 - 6 NARROW STYLE CLEAN ANODIZED ALUMINUM FRAME STOREROOM DOOR. FINISH AND GLAZING TO MATCH ADJACENT STOREROOM.
 - 5 MTL. ROLL-UP DOOR w/ GLAZING TO MATCH SOLARCOOL PACIFICA
 - 4 CLEAN ANODIZED ALUMINUM STOREROOM SYSTEM w/ SINGLE PANE TINTED GLAZING
 - 3 not used
 - 2 not used
 - 1 not used
 - 19 PAINTED CONCRETE WALL PANEL: SHERWIN WILLIAMS
 - 18 PAINTED CONCRETE WALL PANEL: SHERWIN WILLIAMS
 - 17 PAINTED CONCRETE WALL PANEL: SHERWIN WILLIAMS
 - 16 PAINTED CONCRETE WALL PANEL: SHERWIN WILLIAMS
 - 15 PAINTED CONCRETE WALL PANEL: SHERWIN WILLIAMS
 - 14 PAINTED CONCRETE WALL PANEL: SHERWIN WILLIAMS
 - 13 PAINTED CONCRETE WALL PANEL: SHERWIN WILLIAMS
 - 12 PAINTED CONCRETE WALL PANEL: SHERWIN WILLIAMS
 - 11 V-GROOVE REVEAL IN CONCRETE PANEL
 - 10 WALL PACK LIGHT FIXTURE
 - 9 CLEAN ANODIZED ALUMINUM STOREROOM SYSTEM w/ HIGH PERFORMANCE TINTED GLAZING STYLE: (9) INSULATING GLASS UNIT. COLOR: SOLARCOOL PACIFICA + CLEAN
 - 8 CLEAN ANODIZED ALUMINUM SYSTEM w/ SPANDREL GLAZING TO MATCH ADJACENT GLAZING
 - 7 FTD. MTL. MAIN DOOR. COLOR TO MATCH ADJACENT WALL
 - 6 NARROW STYLE CLEAN ANODIZED ALUMINUM FRAME STOREROOM DOOR. FINISH AND GLAZING TO MATCH ADJACENT STOREROOM.
 - 5 MTL. ROLL-UP DOOR w/ GLAZING TO MATCH SOLARCOOL PACIFICA
 - 4 CLEAN ANODIZED ALUMINUM STOREROOM SYSTEM w/ SINGLE PANE TINTED GLAZING
 - 3 not used
 - 2 not used
 - 1 not used
 - 19 PAINTED CONCRETE WALL PANEL: SHERWIN WILLIAMS
 - 18 PAINTED CONCRETE WALL PANEL: SHERWIN WILLIAMS
 - 17 PAINTED CONCRETE WALL PANEL: SHERWIN WILLIAMS
 - 16 PAINTED CONCRETE WALL PANEL: SHERWIN WILLIAMS
 - 15 PAINTED CONCRETE WALL PANEL: SHERWIN WILLIAMS
 - 14 PAINTED CONCRETE WALL PANEL: SHERWIN WILLIAMS
 - 13 PAINTED CONCRETE WALL PANEL: SHERWIN WILLIAMS
 - 12 PAINTED CONCRETE WALL PANEL: SHERWIN WILLIAMS
 - 11 V-GROOVE REVEAL IN CONCRETE PANEL
 - 10 WALL PACK LIGHT FIXTURE
 - 9 CLEAN ANODIZED ALUMINUM STOREROOM SYSTEM w/ HIGH PERFORMANCE TINTED GLAZING STYLE: (9) INSULATING GLASS UNIT. COLOR: SOLARCOOL PACIFICA + CLEAN
 - 8 CLEAN ANODIZED ALUMINUM SYSTEM w/ SPANDREL GLAZING TO MATCH ADJACENT GLAZING
 - 7 FTD. MTL. MAIN DOOR. COLOR TO MATCH ADJACENT WALL
 - 6 NARROW STYLE CLEAN ANODIZED ALUMINUM FRAME STOREROOM DOOR. FINISH AND GLAZING TO MATCH ADJACENT STOREROOM.
 - 5 MTL. ROLL-UP DOOR w/ GLAZING TO MATCH SOLARCOOL PACIFICA
 - 4 CLEAN ANODIZED ALUMINUM STOREROOM SYSTEM w/ SINGLE PANE TINTED GLAZING
 - 3 not used
 - 2 not used
 - 1 not used

FIGURE 5
Option A - Elevations

PROPOSED PROJECT
PHG 16-0012

E
ELEVATIONS



PROPOSED PLANT PALETTE

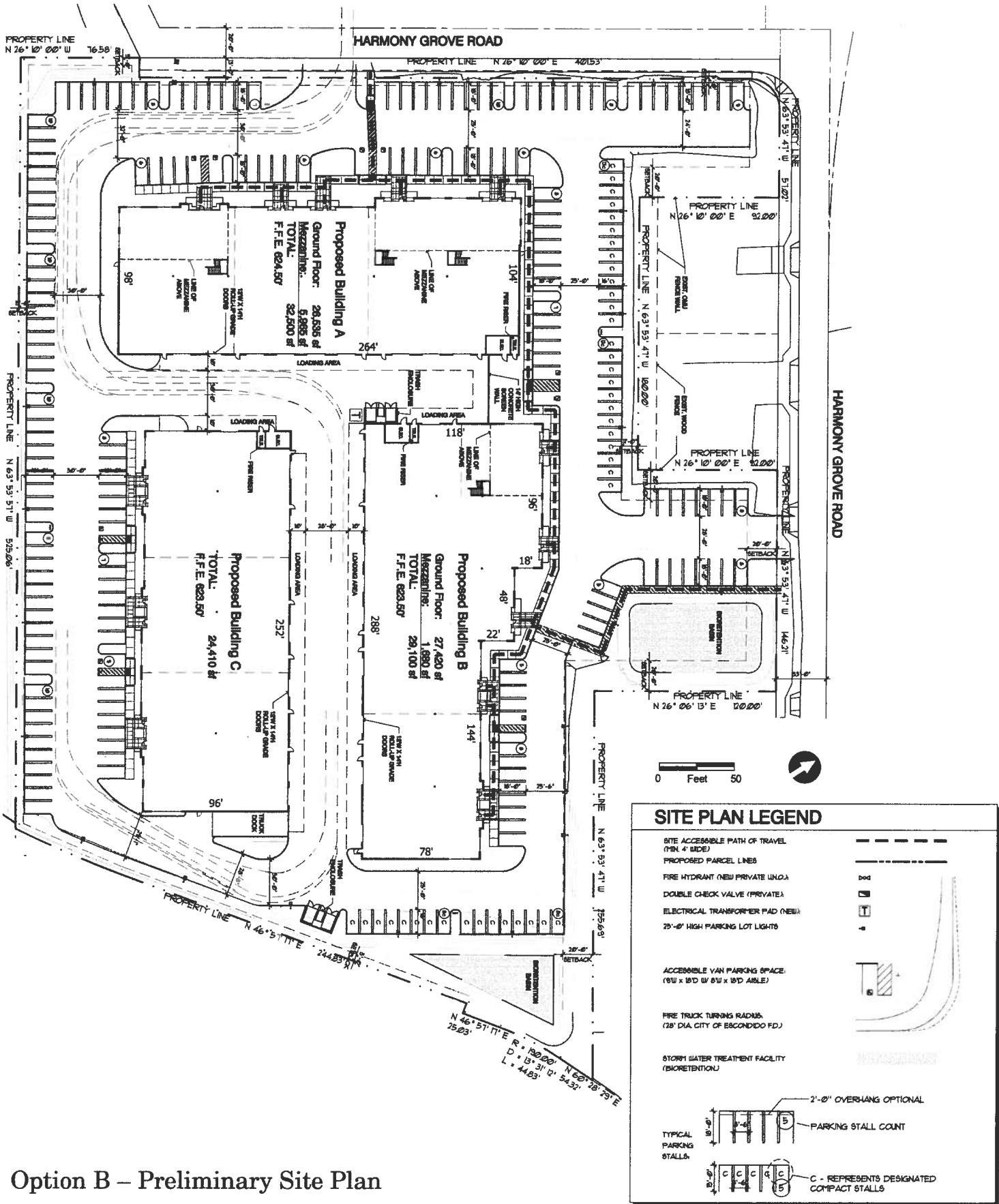
TREE	SYMBOL	SYMBOL NAME	COMMON NAME	SIZE	SPACING	WATER USE	DFY
TREES		LINDERA COMMUNIS	SPICE SHUB	24" DBH	PER PLAN	MOD	16
		LARIX LARIN PRINCE	NOBLESSE LAUREL	36" DBH	PER PLAN	MOD	16
		LARIX LARIN PRINCE	NOBLESSE LAUREL	36" DBH	PER PLAN	LOW	16
SCREENING SHRUBS		LINDERA COMMUNIS	SPICE SHUB	24" DBH	PER PLAN	MOD	16
		LARIX LARIN PRINCE	NOBLESSE LAUREL	36" DBH	PER PLAN	LOW	16

SCREENING SHRUBS	SYMBOL	SYMBOL NAME	COMMON NAME	SIZE	SPACING	WATER USE	DFY
SCREENING SHRUBS		LINDERA COMMUNIS	SPICE SHUB	24" DBH	PER PLAN	MOD	16
		LARIX LARIN PRINCE	NOBLESSE LAUREL	36" DBH	PER PLAN	LOW	16
		LINDERA COMMUNIS	SPICE SHUB	24" DBH	PER PLAN	MOD	16
		LARIX LARIN PRINCE	NOBLESSE LAUREL	36" DBH	PER PLAN	LOW	16

Option A - Landscape Plan

**PROPOSED PROJECT
PHG 16-0012**

LP



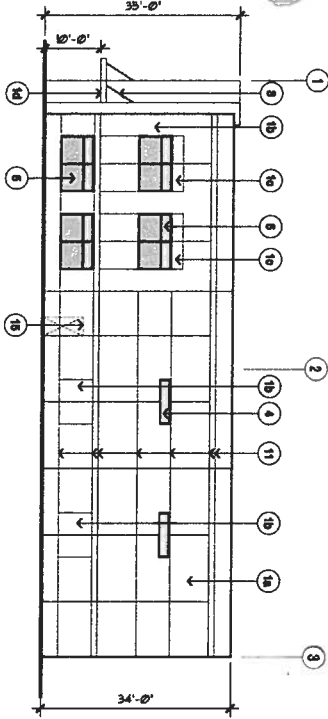
Option B – Preliminary Site Plan

**PROPOSED PROJECT
 PHG 16-0012**

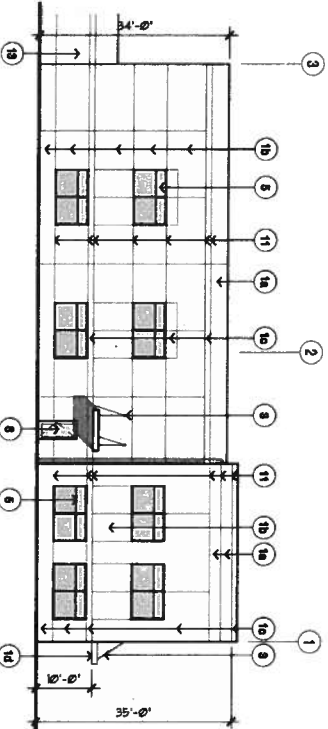
SP

[PRELIMINARY] SITE PLAN

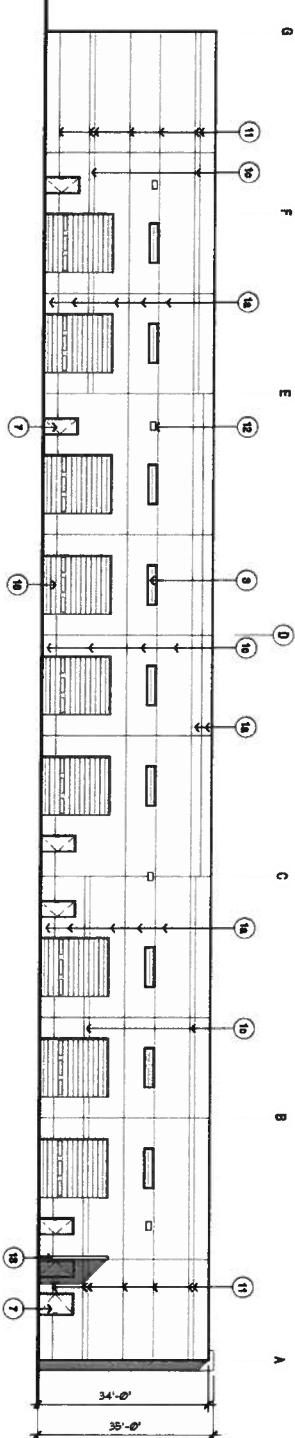
3 SOUTH ELEVATION - BUILDING A



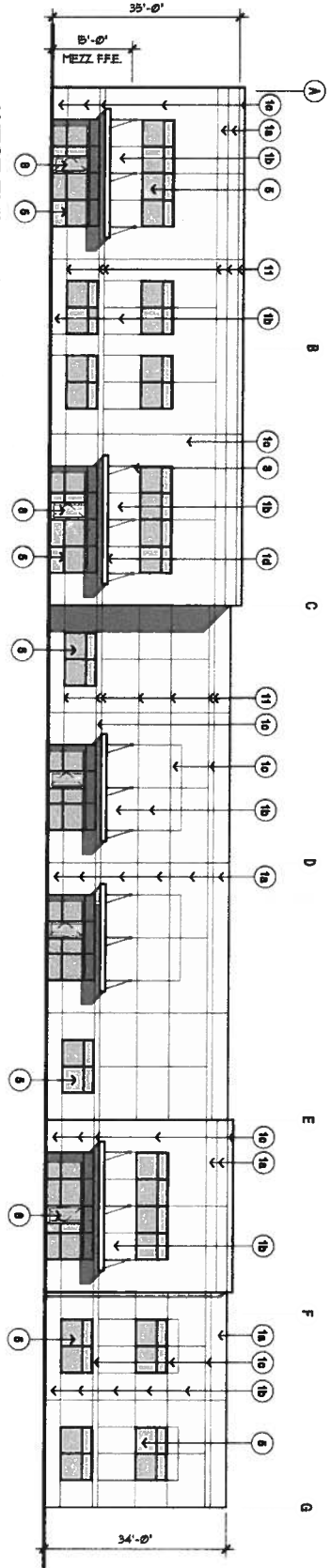
4 NORTH ELEVATION - BUILDING A



2 EAST ELEVATION - BUILDING A



1 WEST ELEVATION - BUILDING A

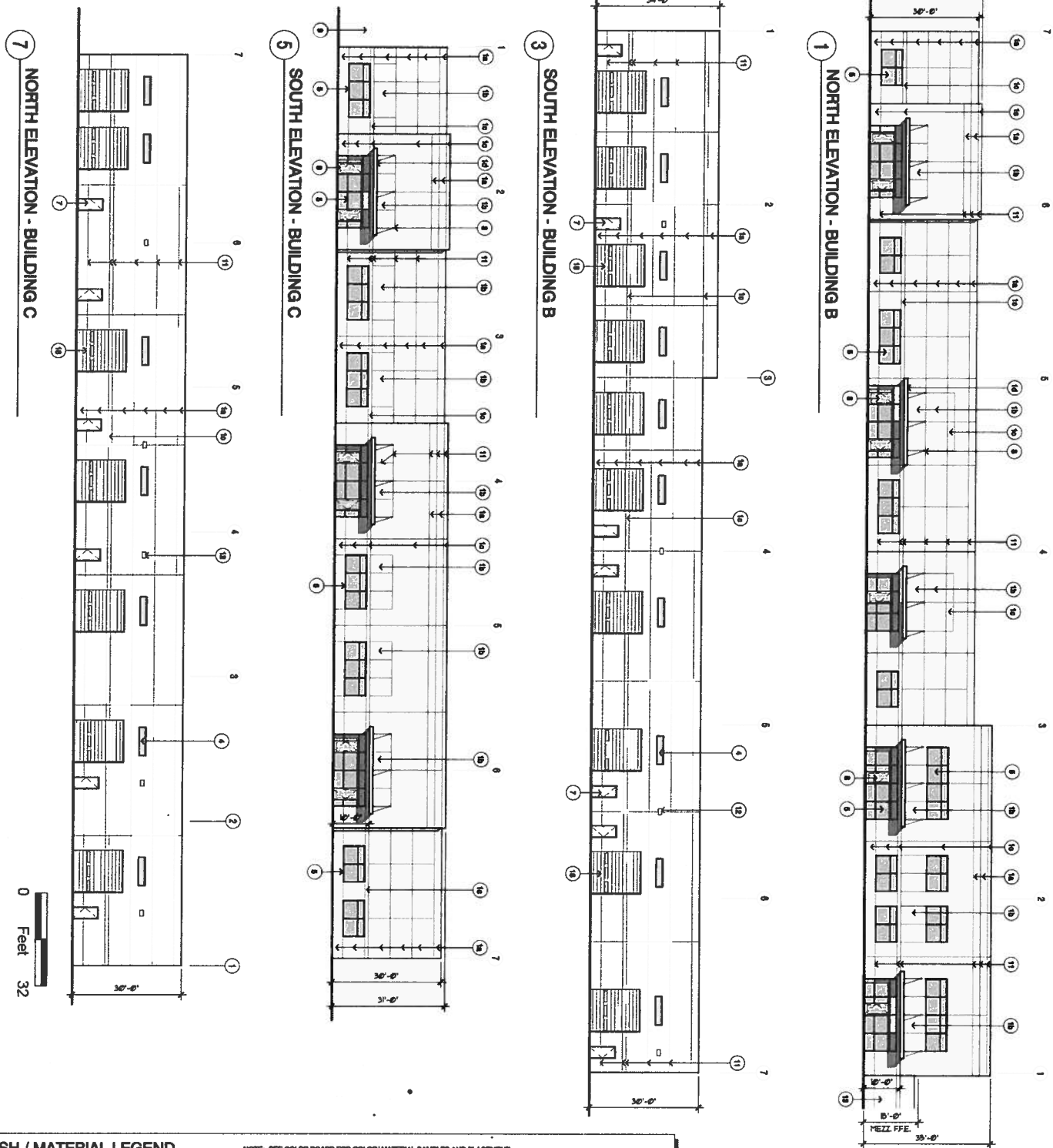


FINISH / MATERIAL LEGEND		NOTE: SEE COLOR BOARD FOR COLOR MATERIAL SAMPLES AND PLACEMENT	
14	PAINTED CONCRETE WALL PANEL - FRAZEE COLORLIFE - COLOR: CLW 1047W DEER FEATHER	5	CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM w/ HIGH PERFORMANCE TINTED GLAZING, STYLE: (R)
15	PAINTED CONCRETE WALL PANEL - FRAZEE COLORLIFE - COLOR: CL 3012M ARTEBAN	6	INSULATING GLASS UNIT, COLOR: SOLARCOOL PACIFICA + CLEAR
16	PAINTED CONCRETE WALL PANEL - FRAZEE COLORLIFE - COLOR: CL 8188A ROOT	7	CLEAR ANODIZED ALUMINUM SYSTEM w/ SPANDREL GLAZING TO MATCH ADJACENT GLAZING
18	METAL CANOPY ROOFING TRIMFASCIA	8	PTD. MTL. MAN DOOR, COLOR TO MATCH ADJACENT WALL
2	not used	9	NARROW STYLE CLEAR ANODIZED ALUMINUM FRAME STOREFRONT DOOR, FINISH AND GLAZING TO MATCH ADJACENT STOREFRONT
3	THREADED ROD AND TURNBUCKLE CANOPY ROOF SUPPORT	10	MTL. ROLL-UP DOOR w/ GLAZING TO MATCH SOLARCOOL PACIFICA
4	CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM w/ SINGLE PANE TINTED GLAZING	11	V-GROOVE REVEAL IN CONCRETE PANEL
5		12	WALL PACK LIGHT FIXTURE
6		13	14'-0" HIGH CONCRETE SCREEN WALL, FINISH TO MATCH ADJACENT WALL
7		14	42" HIGH CONCRETE DOCK WALL
8		15	KNOCK OUT (SHOWN DASHED)
9		16	CLEAR ANODIZED ALUMINUM HIGH-LIFT SECTIONAL DOOR WITH GLAZED PANELS, GLAZING IN ACRYLIC VISION PANELS TO MATCH BUILDING WINDOW GLAZING
10			

Option B Elevations - Building A

PROPOSED PROJECT
PHG 16-0012

E



FINISH / MATERIAL LEGEND

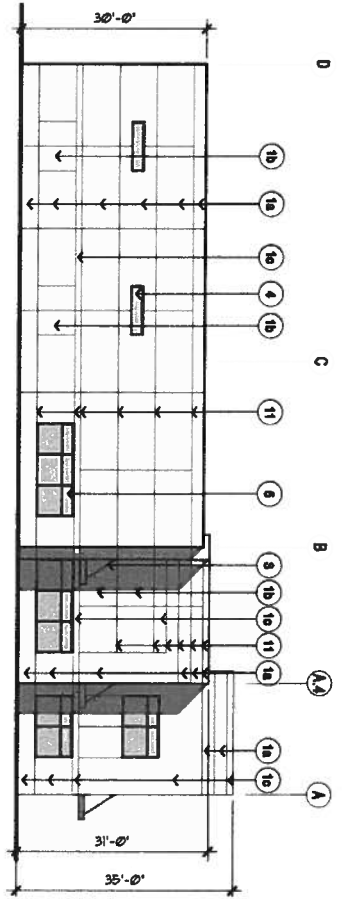
- NOTE: SEE COLOR BOARD FOR COLOR MATERIAL SAMPLES AND PLACEMENT
- 14 PAINTED CONCRETE WALL PANEL: FRAZEE COLORLIFE - COLOR: CLW 1047W DEER FEATHER
 - 15 PAINTED CONCRETE WALL PANEL: FRAZEE COLORLIFE - COLOR: CL 8078M ARTESIAN
 - 16 PAINTED CONCRETE WALL PANEL: FRAZEE COLORLIFE - COLOR: CL 8188A BODOT
 - 17 METAL CANDOPY ROOFING TRIM/FASCIA
 - 2 not used
 - 3 THREADED ROD AND TURNBUCKLE CANOPY ROOF SUPPORT
 - 4 CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM w/ SINGLE PANE TINTED GLAZING.
 - 5 CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM w/ HIGH PERFORMANCE TINTED GLAZING. STYLE: (D) INSULATING GLASS UNIT. COLOR: SOLARCOOL PACIFICA + CLEAR
 - 6 CLEAR ANODIZED ALUMINUM SYSTEM w/ SPANDREL GLAZING TO MATCH ADJACENT GLAZING
 - 7 PTD. MTL. MAN DOOR. COLOR TO MATCH ADJACENT WALL
 - 8 NARROW STYLE CLEAR ANODIZED ALUMINUM FRAME STOREFRONT DOOR. FINISH AND GLAZING TO MATCH ADJACENT STOREFRONT
 - 9 MTL. ROLL-UP DOOR w/ GLAZING TO MATCH SOLARCOOL PACIFICA
 - 10 not used
 - 11 V-GROOVE REVEAL IN CONCRETE PANEL
 - 12 WALL PACK LIGHT FIXTURE
 - 13 14" HIGH CONCRETE SCREEN WALL. FINISH TO MATCH ADJACENT WALL.
 - 14 42" HIGH CONCRETE DOCK WALL
 - 15 KNOCK OUT (SHOWN DASHED)
 - 16 CLEAR ANODIZED ALUMINUM HIGH-LIFT SECTIONAL DOOR WITH GLAZED PANELS. GLAZING IN ACRYLIC VISION PANELS TO MATCH BUILDING WINDOW GLAZING.

**Option B Elevations
- Buildings B and C**

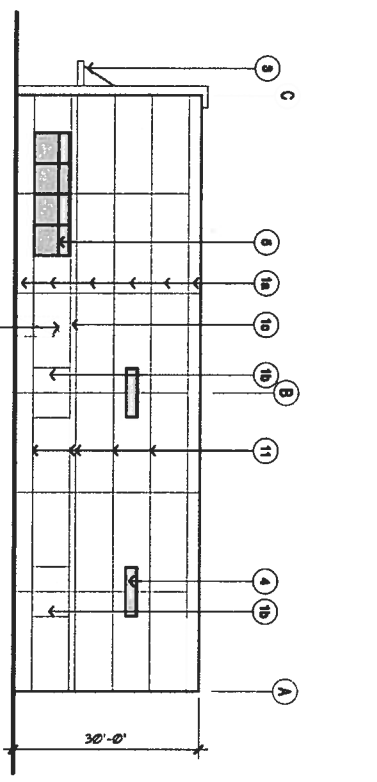
**PROPOSED PROJECT
PHG 16-0012**

E

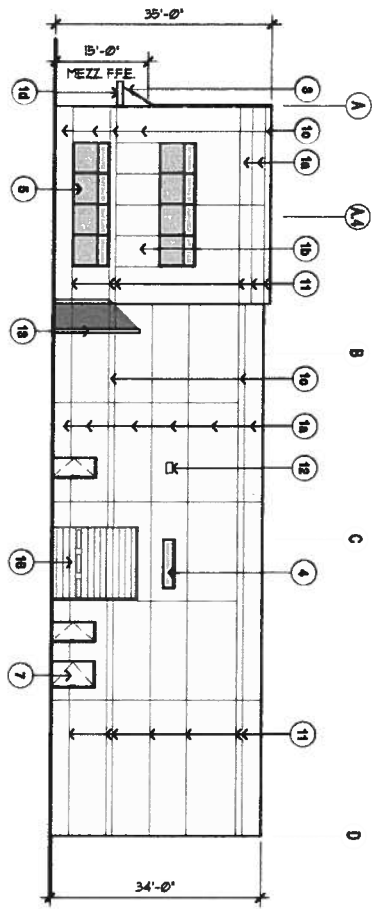
ELEVATIONS



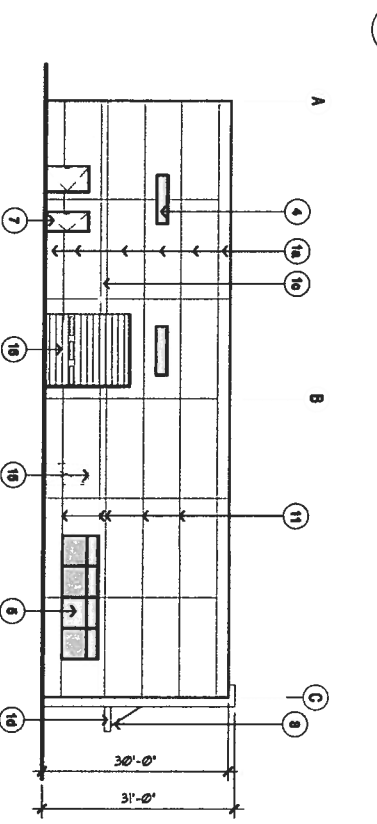
2 EAST ELEVATION - BUILDING B



6 EAST ELEVATION - BUILDING C



4 WEST ELEVATION - BUILDING B



8 WEST ELEVATION - BUILDING C

FINISH / MATERIAL LEGEND

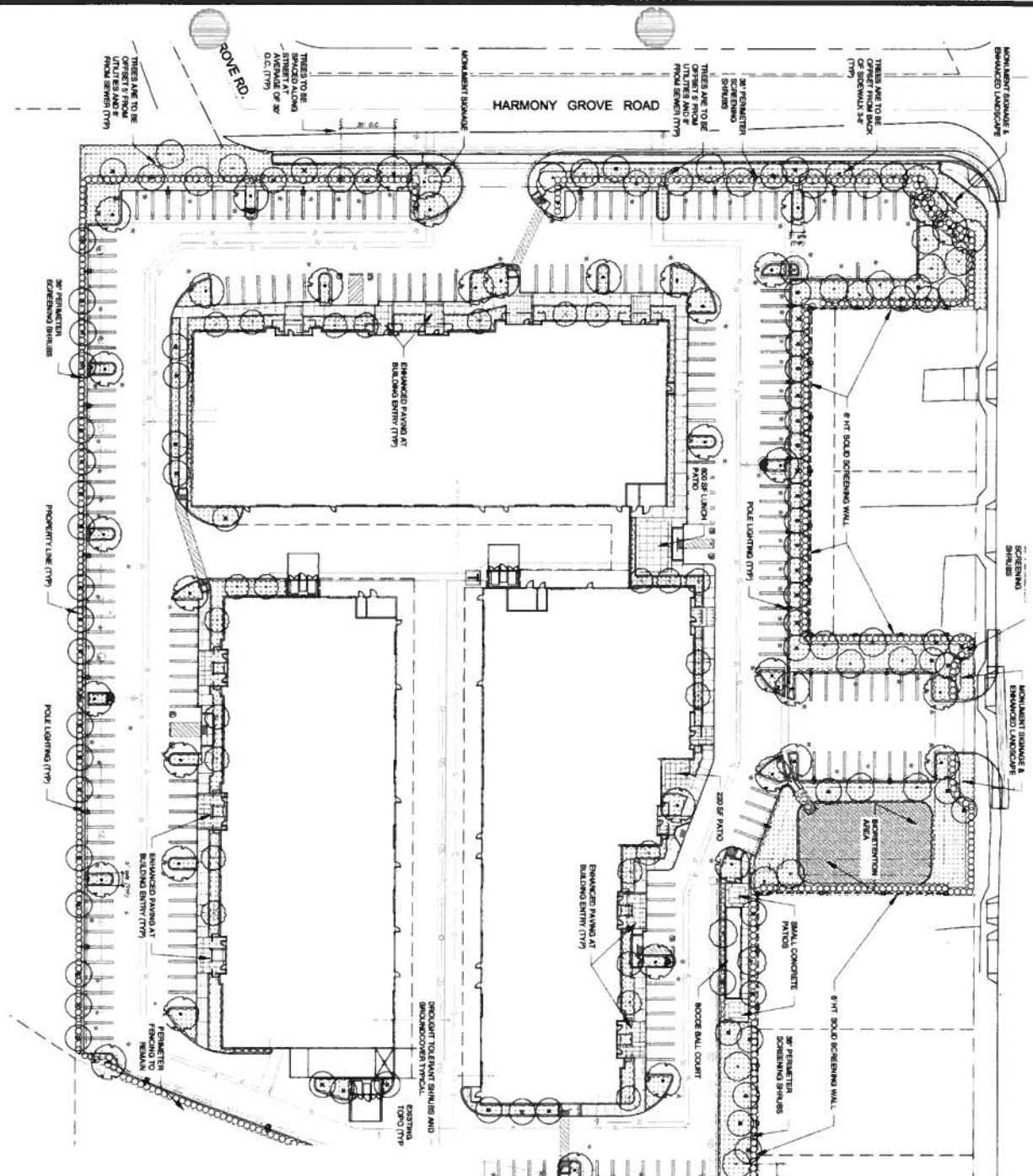
- NOTE: SEE COLOR BOARD FOR COLOR MATERIAL SAMPLES AND PLACEMENT
- 14 PAINTED CONCRETE WALL PANEL - FINISZE COLORLIFE - COLOR CLM 1067W DEER FINISH
 - 15 PAINTED CONCRETE WALL PANEL - FINISZE COLORLIFE - COLOR CL SR18M ARTISAN
 - 16 PAINTED CONCRETE WALL PANEL - FINISZE COLORLIFE - COLOR CL SR18A BOOT
 - 19 METAL CANOPY ROOFING TERRAFASCA
 - 2 not used
 - 3 CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM w/ HIGH RISE INSULATED GLAZING STYLE (2) INSULATING GLAZING UNIT - COLOR: SOLARCOOL, PANCIFIA + CLEAR
 - 4 CLEAR ANODIZED ALUMINUM SYSTEM w/ SPANSEL GLAZING TO MATCH ADJACENT GLAZING
 - 7 FTD. MTL. MAIN DOOR, COLOR TO MATCH ADJACENT WALL
 - 8 NARROW STYLE CLEAR ANODIZED ALUMINUM FRAME STOREFRONT DOOR, FINISH AND GLAZING TO MATCH ADJACENT STOREFRONT
 - 9 MTL. ROLL-UP DOOR w/ GLAZING TO MATCH SOLARCOOL PANCIFIA
 - 10 CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM w/ SINGLE FRAME TINTED GLAZING, not used
 - 11 V-GROOVE REVEAL IN CONCRETE PANEL
 - 12 WALL MOUNT LIGHT FIXTURE
 - 13 1-4" HIGH CONCRETE SCREEN WALL FINISH TO MATCH ADJACENT WALL
 - 14 4" HIGH CONCRETE ROCK WALL
 - 15 ROCK OUT (SHOWN DASHED)
 - 16 CLEAR ANODIZED ALUMINUM HIGH-LIFT SECTIONAL DOOR WITH GLAZED PANELS, GLAZING IN ACRYLIC VISION PANELS TO MATCH BUILDING WINDOW GLAZING

Option B Elevations
- Buildings B and C

PROPOSED PROJECT
PHG 16-0012



ELEVATIONS



PROPOSED PLANT PALETTE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WATER USE	QTY
TREES						
(Symbol)	LAGERSTROMIA MENZIESII OR GRACE CAMANUPINE	MUSKOGEE CHINA SYRTLE OR EASTERN REDBUD	24" BOX	PER PLAN	MOD	24
(Symbol)	LONICITERA CORONATUS OR PITTOSPORUM PHYLLOIDES	BIRCHBARK BOX OR WILLOW PITTOSPORUM	24" BOX	PER PLAN	MOD	77
(Symbol)	QUERCUS AEGYPTIOLA OR AGONIA FLOROSA	COAST LIVE OAK OR PEPPERBERRY WILLOW	24" BOX	PER PLAN	LOW	43
(Symbol)	RHAU LANKEA OR SELIGERA PARVIFLORA	AFRICAN BAMBAK OR AUSTRALIAN WILLOW	24" BOX	PER PLAN	LOW	38
FOREGROUND SHRUBS						
(Symbol)	COTONEASTER HORIZONTALIS	PROSTRATE COTONEASTER	5 GAL	30" O.C.	MOD	3
(Symbol)	DANIELA R. LITTLE 'LILY'	LITTLE BAY PLAIN LILY	1 GAL	30" O.C.	MOD	3
(Symbol)	FERTUCA HARRISII	ATLAS PEGASUS	1 GAL	30" O.C.	LOW	3
(Symbol)	HEPERALDE PARSIFLORA	RED YUCCA	5 GAL	30" O.C.	LOW	3
(Symbol)	LANTANA 'NEW GOLD'	NEW GOLD LANTANA	5 GAL	30" O.C.	LOW	3
(Symbol)	ROSBARTIIA O. 'WICKSTRAITII'	PROSTRATE ROSEMARY	1 GAL	30" O.C.	LOW	3

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WATER USE	QTY
(Symbol)	CALLISTEMON UTILE 'JOHN' AND 'MELISSA' C. 'RED ICE WEST'	DRYSPICE BUTTERFLYBUSH OR PINK MILKY WAY	5 GAL	30" O.C.	LOW	3
(Symbol)	BRACHYCOMME 'CLARK'	HELANI WITCHGRASS	5 GAL	30" O.C.	MOD	3
(Symbol)	ELIOPHYLLUM 'FRITZSCHE'	TEXAS MANARD	5 GAL	30" O.C.	LOW	3
(Symbol)	MESQUITA 'MORNING LIGHT'	SILVER GRASS	5 GAL	40" O.C.	LOW	3
(Symbol)	WESTERHOLIA 'PANTOCIA'	COAST ROSEMARY	5 GAL	40" O.C.	LOW	3
(Symbol)	BORITENTHON ANGASII	SEED	MOD	PER PLAN		3

NOTES:
 1. TREE SHRUBS SHALL BE INSTALLED AT ALL INTERSECTIONS AT THE END OF ALL DRIVEWAYS, THROUGH CURBS OF WELLS, HOIST MASTERS AND TO BE 10' TO 20' FROM CURBS OR DRIVEWAYS AND 10' FROM BUILDINGS UNLESS OTHERWISE NOTED FOR SPECIAL PLANTING SPECIFICATIONS. MORE SPACE SAVINGS SHALL NOT BE SPECIFIED AROUND THE BUILDING.
 2. ALL PLANTING SHALL BE INSTALLED WITHIN THE 5' BUFFER OF ALL CURBS, PER SPECIFICATIONS AT THE CORNER CURB OF ALL PLANTING OR OTHERWISE NOTED WITHIN THE 5' BUFFER OF ALL CURBS, PER SPECIFICATIONS AT THE CORNER CURB.

Option B Landscape Plan

**PROPOSED PROJECT
PHG 16-0012**



ANALYSIS

A. LAND USE COMPATIBILITY/SURROUNDING ZONING

NORTH: R-1-7 zoning (Single-Family Residential, 7,000 SF min. lot size). Six single-family residences are immediately adjacent to the subject property, located along the southern side of Harmony Grove Road on lots generally ranging in size from 8,200 square feet to 9,600 square feet. Additional single-family development is located to the north, beyond, with a mixture of residential lots that are R-1-7 or R-1-6 zoning (Single-Family Residential, 7,000 SF min. lot size). Industrial development also is located northwest of the project site along the northern and western side of Harmony Grove Road.

SOUTH: PD-I Zoning (Planned Development-Industrial). A vacant approximately 4.87-acre parcel is located immediately south of the site. The area is zoned for industrial uses. The Planning Commission and City Council approved the development of 91,000 square feet of light industrial use in two buildings on this site on August 9, 2016 and by Council on September 14, 2016. Building plans were submitted into plan check the following day and are now being reviewed by staff.

The Escondido Creek flood control channel is located farther to the south. This section of the channel wraps or bends around the project site in a northeasterly to southwesterly direction, so the channel is also immediately east and southeast of the project site. A paved maintenance road (approximately 10 to 12 feet in width) is located off-site along the eastern and southeastern boundary of the project site. Vegetation to the south consists of non-native and native habitat located along the edges of the creek/maintenance road and within the creek. The City Hale Avenue Resource Recovery Facility (HARRF) on Hale Avenue is located on the south side of the channel. Rural-estate residential development on large lots are located to the southwest of the site with the County of San Diego jurisdiction. The future extension of Citracado Parkway would be located to the south of the project site, generally on the southern side of Escondido Creek

EAST: The Escondido Creek flood-control channel is located immediately east and southeast of the site. A paved maintenance road (which varies from 10 feet to 12 feet in width) is located along both sides of the flood control channel. The paved maintenance road is located at a higher elevation than the project site (generally 5 to 8 feet higher). A mobile-home park is located further east across the flood-control channel (approximately 400+ feet to the southeast of the subject). A small church and single-family homes are located to the east across the Escondido Creek channel.

WEST: Specific Plan zoning (SP) and Light Industrial zoning. Two separate industrial developments are located immediately to the west. Nine industrial buildings are located at the southeast corner of Enterprise Street and S. Andreasen Drive. All uses appear to be industries related to warehousing, and/or distribution. A separate industrial development (Harmony Grove Industrial Park) is located immediately to the southwest of the project site. This is part of the Escondido Research Technology Center Specific Plan. A 20-foot-wide Rincon Del Diablo Water District easement (which contains an 18-inch water line) separates the industrial development from the project site. The utility easement is paved with gravel. A split-face retaining wall is located along the western side of the water easement ranging from 6 feet in height towards the north and up to approximately 14 feet in height towards the south.

B. AVAILABILITY OF PUBLIC SERVICES

1. **Effect on Police Service** – The Police Department expressed no concern regarding the proposed development and their ability to serve the site.
3. **Effect on Fire Service** – The Fire Department indicated that adequate services can be provided to the site and the proposed project would not impact levels of service. Appropriate on-site circulation and turnaround areas are provided. The nearest fire station to the site is Station No. 6 located at 1735 Del Dios Highway.
4. **Traffic** – The site is currently vacant and does not generate trips under the existing condition; therefore, the proposed use would generate traffic at the site as well as trips on the existing roadway network. A Traffic Analysis was prepared for the project which was estimated to generate up to 788 average daily trips (ADT)

with 87 AM peak hour trips and 95 PM peak hour trips. The trip generation and traffic impacts analyzed are based on the project development type of Option A since this would represent the worst case analysis scenario due to a greater number of vehicle trips associated with the larger square footage of industrial space.

Primary access to the site would be provided by two driveways. A single driveway near the south bend of Harmony Grove Road on the west side of the property would be designated as ingress/egress for truck delivery and warehouse distribution. Secondary access would be provided by a single driveway on the north side of the property. The City of Escondido's Traffic Impact Analysis Guidelines (2013a) were used to determine the study area intersections and street segments for the project. The traffic study indicated that all intersections in the study area are calculated to operate at LOS C or better with the exception of Harmony Grove Road/Hale Avenue, which currently operates at LOS D in the PM peak hour. Because the project would contribute to the delay at this intersection by more than 2.0 seconds and would result in a direct impact based on the City's significance criteria, mitigation is required to improve the circulation at this intersection with restriping to provide one dedicated right-turn lane and one through lane within the existing right-of-way. All roadway segments in the study area are calculated to operate at LOS C or better and would continue to operate at LOS C or better with the project with the exception of Harmony Grove Road to 9th Avenue. Due to project plus cumulative impacts, this roadway segments condition would worsen to a LOS F. Furthermore, segments of Enterprise Street between the project access Hale Avenue would also operate at LOS F, and the segment of Harmony Grove Road between Enterprise Street and Hale Avenue would degrade to LOS F. Therefore, a significant cumulative impact would occur at these roadways segments. Feasible mitigation measures are proposed to mitigate those impacts. The requisite analysis and description of applicable mitigation measures to reduce potentially significant effects that were identified in the IS/MND and is included in the Traffic Impact Analysis Report, prepared by Linscott Law & Greenspan, on file with the Planning Division and incorporated herein by this reference.

5. **Utilities** – Water and sewer is available from existing mains in the adjoining street or easements. The Engineering Department indicated the project would not result in a significant impact to public services or other utilities. The project would connect to the Rincon Del Diablo Water District utilities (water service), connecting to an existing 16" water line to the east of the project site. Sewer service is provided by the City of Escondido within an existing main located to the west of the site, with access provided to maintenance vehicles along the Escondido Creek Channel. The sewer system has adequate capacity to accommodate the project's needs.

Solid Waste – Trash service is provided by Escondido Disposal. The project is proposing trash enclosures to serve the each building.

Drainage – The proposed drainage system is designed to convey on-site flow volumes per the City of Escondido drainage design standards. The Engineering Department determined the project would not materially degrade the levels of service of the existing drainage facilities. A Priority Development Project (PDP) Storm Water Quality Management Plan (SWQMP) and a Preliminary Drainage Study were prepared to address the design of drainage and water quality features in accordance with SUSMP requirements. On-site drainage would be directed to two drainage basins, and after treatment would drain into Escondido Creek via an existing 24" storm drain system.

C. ENVIRONMENTAL STATUS

A Mitigated Negative Declaration (City File No. ENV16-0008) was issued for the project for a 20-day public review period in conformance with the California Environmental Quality Act (CEQA) and is attached to this report. The findings of environmental review identified potential impacts related to biological resources, cultural resources, land use, transportation/traffic, and tribal cultural resources that would be mitigated to less than significant with incorporation of mitigation measures. The applicant or project proponent will have to widen Harmony Grove Road within the existing right-of-way along the project frontage to Enterprise Street to provide a two-way left-turn lane serving as a refuge for left-turning vehicles in and out of the project site and nearby industrial driveways, thus allowing for improved flow for through traffic along Harmony Grove Road. From the project driveway to Enterprise Street (a length of approximately 415 feet), the applicant or project proponent will also have to widen Harmony Grove Road extending north along the project frontage to provide a 13- to 18-foot northbound lane and an 11-foot two-way left-turn lane. The applicant or project proponent will also have to pay a fair share toward the Citracado Parkway Extension Project to improve and redirect the flow of traffic along this roadway. With the implementation

of the mitigation measures and conditions of approval, the project is not expected to have any significant impacts, either short-term or long-term. The City has concluded necessary consultation with the Native American Tribes in accordance with Assembly Bill 52 with the incorporation of appropriate mitigation measures to address potential impacts to Tribal Cultural Resources, including Native American monitors during initial site grading.

The public review period for the Mitigated Negative Declaration began on November 7, 2016 and ended on November 28, 2016. The Notice of Intent was sent to surrounding property owners and published in the local newspaper (The Daily Transcript) on November 7, 2016. City staff did not receive any written comments from surrounding property owners or the public during the public review period.

The Final Mitigated Negative Declaration may be viewed on the City's web site at the following link listed below and the corresponding technical studies at <https://www.escondido.org/escondido-innovation-center.aspx>.

D. CONFORMANCE WITH CITY POLICY

General Plan

Even though the previous General Plan residential land-use designation (Urban 1) was changed to Light Industrial (LI) on the site during the 2012 General Plan update, the City of Escondido made no concurrent effort to change the zoning from single-family residential (R-1-7) to industrial (M-1 or PD-I). General Plan amendments and their corresponding zoning map changes are typically dealt with at the same Public Hearing; however, there is no requirement that General Plan land-use map changes and zoning map changes run concurrently. Under basic Planning and Zoning laws, zoning map changes and/or new zones may be amended and/or mapped during a subsequent process if it is deemed appropriate, within a reasonable time period.

Pursuant to State law and court precedence, local agencies must keep their zoning consistent with General Plan policy (land-use maps and text). An applicant seeking a use of land that is conforming to the General Plan but not conforming to zoning, may file for a concurrent zone change or zoning map amendment. Please note that discussions about the merit of the rezoning request to permit "by-right" an industrial use or activity has already been addressed, separately from this action. The City of Escondido conducted a comprehensive three-year study, called a General Plan Update, to evaluate the extent and location of different land uses and activities in the city; and to create a long-term plan for the City's future. The Planning Commission and City Council both approved a series of land-use related General Plan amendments and offered it to the voters of Escondido for their consideration. In the 2012 General Election, the residents of the City of Escondido ratified the local measure to approve the Escondido General Plan Update, including the land-use re-designation of 1925 Harmony Grove Road (APN 235-050-58) from residential to industrial. Therefore, the Planning Commission need only focus on the land-use regulatory matters before it directly related to the appropriate industrial zoning designation and the scope and content of the proposed Master and Precise Development Plan. The zone change request is technical in nature, necessary to bring the property in compliance with State law and court precedence; and is proposed to facilitate development of the project in accordance with Chapter 33, Article 26 of the Zoning Code that encourages the planned development process for industrial park type development.

The project would be consistent with the General Plan industrial land-use goal of providing "a variety of industrial uses located and designed to assure compatibility with adjoining land uses offering diverse jobs for the community."

E. PROJECT ANALYSIS

Project Design and Conformance with Surrounding Development –

The 5.76-acre project site is situated at a similar elevation than the industrial site to the south, which was recently approved for a similar type of industrial development. A shallow drainage enters the project site from the northern property towards the northeastern corner of the project site. Vegetation to the north generally consists of grasses, weeds and a variety of mature trees, including stands of mature eucalyptus. The site is maintained by occasional mowing or clearing.

Building mass, architectural style, and plantings are designed to be compatible with industrial development in the surrounding area, as well as provide transitional space and buffering to existing residences. The completion of the project would result in a new building, one that is in scale with the site and the surrounding vicinity. The project

site is adjacent to similar industrial park type development on the west and to the northwest, and vacant industrial land on the north. The project site plan and building architecture, materials and colors has been designed to be compatible with the quality of the buildings throughout the Harmony Grove industrial area incorporating increased setbacks and landscape buffers as required by the Industrial Park (IP) zoning requirements. The two proposed building options (Option A and Option B) include a variety of exterior colors and window elements, vertical and horizontal score lines, and a varied roof line to help break up the mass and scale of the buildings. Metal canopy/eyebrows would be provided over the main entries to each building and enhance storefront façade designs are incorporated into the design at the main corner of each building. Landscape planters also would be provided along the more visible building elevations, as seen from the public way and adjacent industrial development to help soften the building massing and provide additional visual and physical separation. The landscape plan also provides adequate screening of the parking lot area and drive aisles.

The Escondido Creek Flood Control Channel is located along the eastern and southern boundary of the site, and the architecture of the buildings along these elevations and loading docks have been designed/screened to avoid any adverse visual impacts from Creek views. Pedestrian access also would be provided to the existing maintenance access road that runs along the creek to accommodate any future plans to extend the Class I Escondido Creek pathway along the northern side of the Creek from Harmony Grove Road to the future Citracado Parkway extension. Off-site grading is proposed along the edge of the maintenance road and the project is required to landscape and maintain this area, which provides additional screening opportunities from Creek views. The project also includes a comprehensive sign program to ensure conformity and quality of the building signs throughout the project. The comprehensive sign program is based on the M-1 (Light Industrial) sign requirements with some modifications to control the overall size and placement of the signs on the buildings. The buildings have been designed to be used by single tenant within each building, but with provisions for the buildings to accommodate more than one tenant with multiple main entry areas and potential future loading doors if needed.

Parking – Parking for Industrial Park zoning is based on the type of use (i.e., office, manufacturing, warehouse/storage, etc.) and each use requires a different parking ratio (1:250, 1:500, 1:650, 1:800). The project would provide 198 on-site parking spaces under building Option A (at a 1:497 parking ratio); and 234 on-site parking spaces under building Option B (at a 1:368 parking ratio). These parking provisions exceed the amounts required for the type of use. Staff believes the amount of parking provide is more than sufficient for the site and the ratio provided would be able to accommodate a wide range of future uses in accordance with the Industrial Park zoning category. The Planned Development process allows for the project to establish an appropriate parking ratio for the project and eliminates the need for City staff to evaluate future lease of the buildings spaces (during review of business license) based on the type of uses and individual parking requirements.

SUPPLEMENT TO STAFF REPORT/DETAILS OF REQUEST

A. PHYSICAL CHARACTERISTICS

The parcel is located on the eastern periphery of the Harmony Grove neighborhood which was formerly a rural area used for ranching and citrus production. The area has since been developed with single-family housing and light industrial uses. The property fronts onto and takes access from Harmony Grove Road on the north and west side, where the road bends around the property. The project site is basically flat, possibly having been graded to some degree in the past, with scattered eucalyptus trees and a northeast-to-southwest trending drainage (Escondido Creek) bordering the eastern perimeter. The project site is visible from adjacent residences to the north-northeast, industrial parks to the west and southwest, and Harmony Grove Road to the northeast and west.

B. SUPPLEMENTAL DETAILS OF REQUEST

1. **Property Size:** 5.76 total acres

2. **Property APN:** 235-050-58

3. **Option A – Building Data:**

No. of Bldgs.: 1

Building Size: 98,500 SF total building floor area:
- 95,800 SF ground floor space; and
- 2,700 SF provided for mezzanine level.

Height: 1 story with small mezzanine level up to 38 feet (top of parapet and architectural wall panels).

Option B – Building Data:

No. of Bldgs.: 3

Building 1 Size: 32,500 SF total building floor area
- 26,535 SF ground floor space; and
- 5,965 SF provided for mezzanine level.

Building 2 Size: 29,100 SF total building floor area
- 27,420 SF ground floor space; and
- 1,680 SF provided for mezzanine level.

Building 3 Size: 24,410 SF total building floor area
- 24,410 SF ground floor space; and
- no mezzanine level proposed.

Height: 1 story with small mezzanine level up to 35 feet (top of parapet and architectural wall panels).

4. **Material/Colors:** Tilt-up concrete type walls with varied roof planes, horizontal and vertical score lines, lower story glass-front style glass windows with high performance tinted glazing and entry features, and mezzanine and upper story glazed windows, steel tube canopies with aluminum panels above entries. Exterior concrete panel colors range from light to dark gray, white, with an accent wall fin for each building with dark gray tile cladding. Metal roll-up doors on certain elevations with options for additional roll-up door cut outs designated.

5. **Setbacks:** Planned Development zoning establishes its own zoning standards, including setbacks and is not subject to the underlying zoning requirements. However, the project has been designed to be in substantial conformance with the Industrial Park (IP) zoning requirements. The IP zoning requirements have been provided for reference purposes.

Option A – Setback Data:

Front:	Varies, 80' at the nearest	<u>IP Requirement for Comparison</u> 20' min.
Rear:	Varies, 38' at the nearest	None
Side:		
- North:	Varies, 62' at the nearest	None
- South:	85'	None

Option B – Setback Data:

Front:	Varies, 85' at the nearest	<u>IP Requirement for Comparison</u> 20' min.
Rear:	Varies, 25' at the nearest	None
Side:		
- North:	Varies, 65' at the nearest	None
- South:	Varies, 64' at the nearest	None

6. Lot Coverage Proposed Option A IP Requirement for Comparison
38% 40%

Proposed Option B IP Requirement for Comparison
31.2% 40%

7. Parking: Proposed Option A IP Requirement for Comparison
198 on-site 132 spaces required

Proposed Option B IP Requirement for Comparison
234 on-site 215 spaces required

IP parking ratios are based on the suite/bldg. size and the number of required spaces goes down as the suite/bldg. size increases. By utilizing the Planned Development process the facility would provide parking at a ratio that would accommodate a mix of manufacturing, warehouse and office type uses that would eliminate the need for ongoing parking studies for the occupation of each building or suite. For comparison, the facility provides parking at a similar ratio to the standard manufacturing ratio of 1:500 for projects in the Light Industrial (M-1) or General Industrial (M-2) zones.

8. Loading Area: In Option A, loading will occur in a recessed, cut-out portion of the building envelop on the south side of the property. This can accommodate a variety of truck loading for up to six (6) vehicles at a time. The location and proposed project design is compatible with the surrounding types of use and structures and provides adequate screening from Harmony Grove Road and the Escondido Creek. In Option B, each building accommodates a variety of truck loading. Most provisions for loading are provided internal to the site to allow loading at various roll-up doors around the buildings; however, one (1) truck well is provided on the rear of the building, within view of Escondido Creek. The applicant proposes a screened loading dock to accommodate a variety of trucks.

9. Landscaping: New ornamental landscaping to be provided around the project perimeter and throughout the project.

10. Walls/Fencing: A six-foot-high screening wall is proposed along sections of the northern property line to help reduce the physical and visual impact of the development to the existing single-family residences. An existing perimeter fence along the eastern property line will remain or will be improved as a condition of this project to ensure that the material is of similar quality to the fence adjacent to the property, and to ensure that an access gate is

provided to allow for any maintenance and pedestrian access along the Escondido Creek maintenance road.

- 11. Signage:** A Draft Comprehensive Sign Program has been developed for the site which would be similar conformance with the Light Industrial (M1) sign standards. Limited wall signage for each building would be allowed along with a six-foot-high entry monument sign along Harmony Grove Road for each roadway frontage. Wall signs (size and height standards) would be regulated by the M1 sign standards, in accordance with Article 66 of the Zoning Code. Four (4) optional locations for the monument signage is proposed, allowing a considerable amount of flexibility for the property owner and/or project proponent. Monument signs along the north property line, immediately adjacent to the secondary driveway, will be non-illuminated.
- 12. Trash:** A dedicate trash enclosure area would be provided to accommodate each building.
- 13. Grading:** Under project Option A and Option B, respectively, project grading would include approximately 15,000 to 18,000 cubic yards of import to raise the elevation of the site above the 100-year flood elevations, to approximately 624 feet above mean sea level.
- 14. Allowable Uses:** The list of allowable uses in the buildings and on-site activities would be subject to those uses allowed in the Industrial Park (IP) zone.

EXHIBIT "A"

FINDINGS OF FACT/FACTORS TO BE CONSIDERED PHG 16-0012, ENV 16-0008

Zone Change

1. Since zoning is one of the primary means of implementing a General Plan, counties, general law cities, and charter cities are required to maintain consistency between their zoning ordinance and their adopted general plan (Government Code Section 65860). Under basic Planning and Zoning laws, zoning map changes and/or new zones may be amended and/or mapped during a subsequent process if it is deemed appropriate, within a reasonable time period.
 - The applicant and/or project proponent is proposing to re-establish General Plan and zoning consistency for the subject property.
 - A Planned Development-Industrial (PD-I) is proposed to facilitate development of the project in accordance with Chapter 33, Article 26 of the Zoning Code that encourages the planned development process for industrial park type development.

The project would be consistent with the General Plan industrial land use goal of providing "a variety of industrial uses located and designed to assure compatibility with adjoining land uses offering diverse jobs for the community." The proposed project would not diminish the Quality-of-Life Standards of the General Plan as the project would not materially degrade the level of service on adjacent streets and intersections (as mitigated) or public facilities, create excessive noise or compatibility impacts, and adequate on-site parking, circulation and public services could be provided to the site.

2. The public health, safety and welfare will not be adversely affected by the proposed Zone Change from R-1-7 (Single-Family Residential, 7,000 SF min. lot size) to PD-I (Planned Development-Industrial) because the General Plan land-use designation for the subject site is LI (Light Industrial). The project site currently is zoned as single-family residential (R-1-7) and a zone change to Planned Development-Industrial (PD-I) is proposed to facilitate development of the project in accordance with Chapter 33, Article 26 of the Zoning Code that encourages the planned development process for industrial park type development. The proposed project would not diminish the Quality-of-Life Standards of the General Plan as the project would not materially degrade the level of service on adjacent streets and intersection or public facilities, create excessive noise, and adequate on-site parking, circulation and public services could be provided to the site. The Initial Study/Mitigated Negative Declaration prepared for the project identified effects related to biological resources, cultural and tribal cultural resources, and transportation/traffic that might be potentially significant. However, design and minimization measures, revisions in the project plans and/or mitigation measures provide mitigation to a point where potential impacts are reduced to less than a significant level.
3. The property involved is suitable for the uses permitted by the proposed PD-I zone because the General Plan for the subject site is Light Industrial and the range of uses proposed would be consistent with the City's Industrial Park zoning requirements. The project has been designed to be compatible with the adjacent industrial development and Escondido Creek with appropriate grading, building design and orientation, setbacks, walls/fencing and perimeter landscaping. Site design, building mass and location, architectural style, and plantings are also designed to provide some transitional space between the existing residences to the new proposed industrial building.
4. The uses permitted by the proposed Planned Development-Industrial zone would not be detrimental to surrounding properties because the project site is adjacent to similar industrial development on the south, west, and northwest, and is separated and adequately buffered from residential uses to the east, southeast, and south by the Escondido Creek Flood Control Channel. The adjacent properties immediately on the north comprises of existing single-family residences, but they carry a Light Industrial General Plan land-use designation. The scale of the proposed project would be in conformance with the general pattern of industrial development within the area. The proposed change of zone would not result in a significant impact to the environment (as mitigated), nor impact existing services or degrade levels of-service to adjacent streets, as detailed in the staff report and environmental analysis.

5. The portion of the project site that is proposed for the change of zone to Planned Development-Industrial would not conflict with any specific plans for the area because the site is not subject to any adopted specific plans for the property or within a designated General Plan Specific Planning Area. The adjacent industrial development on the west is located within Specific Planning Area 8 (ERTC) and the range of industrial uses proposed for the project site and the design of the project would be compatible with the adjacent industrial specific plan and other industrial development throughout the surrounding area.

Master and Precise Development Plan

1. The approval of the proposed Master and Precise Development Plan would be based on sound principles of land use and is well-integrated with the surrounding properties because adequate parking, access, on-site circulation, utilities, as well as appropriate setbacks from adjacent industrial uses and the Escondido Creek Flood Control Channel would be provided (as detailed in the staff report and Final Mitigated Negative Declaration). The design of the buildings and quality of the architecture and landscaping would be compatible with the pattern of industrial development throughout the Harmony Grove industrial area. All vehicular traffic generated by the project will be accommodated safely and without degrading the level of service on the adjoining streets or intersection with the implementation of the conditions of approval and as mitigated.
2. The proposed Master and Precise Development Plan would not cause deterioration of bordering land uses and the site is physically suitable for the proposed development because the industrial park type development is proposed and would be located adjacent to similar industrial park type development. That is also the vision provided for the in the updated General Plan.

The proposed grading design would not result in any manufactured slopes or pads that would create any significant adverse visual or compatibility impacts with adjacent lots, nor block any significant views. The Engineering Department indicated the project is not anticipated to have any significant individual or cumulative impacts to the circulation system or degrade the levels of service on any of the adjacent roadways or intersections because identified impacts have been mitigated to less than a significant level. The project would not result in the destruction of desirable natural features, nor be visually obstructive or disharmonious with surrounding areas because the site is located within a developed area characterized by a mix of industrial, single- and multi-family residential uses. Appropriate setbacks and buffer areas would be provided from adjacent industrial uses, the Escondido Creek and nearby residential development. The proposed project would not diminish the Quality-of-Life Standards of the General Plan as the project would not materially degrade the level of service on adjacent streets and intersection or public facilities, create excessive noise, and adequate on-site parking, circulation and public services could be provided.

3. The overall design of the project would produce an attractive planned industrial development that would be similar in design and architectural quality to exiting industrial development located throughout the Harmony Grove industrial area. The project would be subject to the Industrial Park (IP) list of permitted uses in order that allow lower intensity industrial park and office type uses (including restricting outdoor storage) in order to be more compatible with adjacent Specific Plan industrial development and land-use goals for the area (SPA 8 - ERTC) and to reduce the potential any impacts to nearby residential development.
4. The uses proposed have a beneficial effect not obtainable under existing zoning regulations because the project proposes a comprehensively designed industrial development that would be compatible with the surrounding neighborhood. The Planned Development-Industrial (PD-I) is proposed to facilitate development of the project in accordance with Chapter 33, Article 26 of the Zoning Code that encourages the planned development process for industrial park type development. Planned developments may set their own development standards to encourage creative approaches to the use of land through variation in the siting of buildings and design that enhances the appearance and livability of the community. The proposed development proposes a variety of setbacks and appropriate orientation of the buildings (including major entries, loading docks, building access areas, and storm water features) to correspond to and reduce potential impacts to the variety of adjacent land uses and the built environment. The project provides comprehensive and self-contained development, which creates an environment of sustained desirability and stability through the controls offered and regulated through the Planned Development process.
5. All of the requirements of the California Environmental Quality Act (CEQA) have been met because the findings of the environmental analysis (as demonstrated in ENV15-0017) are that the Initial Study identified effects related to biological resources, cultural and tribal cultural resources, and transportation/traffic that

might be potentially significant. However, design and minimization measures, revisions in the project plans and/or mitigation measures provide mitigation to a point where potential impacts are reduced to less than a significant level. The City also has complied with the provisions of Assembly Bill 52 regarding consultation with the Native American Tribes and appropriate mitigation measures have been included to address potential impacts to tribal cultural resources.

EXHIBIT "B"

CONDITIONS OF APPROVAL PHG 16-0012, ENV 16-0008

General

1. All construction shall comply with all applicable requirements of the Escondido Zoning Code and requirements of the Planning Department, Director of Building, and the Fire Chief. Allowable area calculations CBC Table 503, Section 506.
2. If blasting occurs, verification of a San Diego County Explosive Permit and a policy or certificate of public liability insurance shall be filed with the Fire Chief and City Engineer prior to any blasting within the City of Escondido.
3. Access for use of heavy fire fighting equipment as required by the Fire Chief shall be provided to the job site at the start of any construction and maintained until all construction is complete. Also, there shall be no stockpiling of combustible materials, and there shall be no foundation inspections given until on-site fire hydrants with adequate fire flow are in service to the satisfaction of the Fire Marshal.
4. The legal description attached to the application has been provided by the applicant and neither the City of Escondido nor any of its employees assume responsibility for the accuracy of said legal description.
5. Prior to or concurrent with the issuance of building permits, the appropriate development fees and Citywide Facility fees shall be paid in accordance with the prevailing fee schedule in effect at the time of building permit issuance, to the satisfaction of the Director of Community Development. All requirements of the Public Partnership Program, Ordinance No. 86-70 shall be satisfied prior to building permit issuance. The ordinance requires that a public art fee be added at the time of the building permit issuance for the purpose of participating in the City Public Art Program.
5. All exterior lighting shall conform to the requirements of Article 1072, Outdoor Lighting (Ordinance No. 86-75) and be consistent with the lighting design for the shopping center. A copy of the lighting plan shall be included as part of the building plans, to the satisfaction of the Planning Division.
6. All project generated noise shall conform to the City's Noise Ordinance (Ordinance 90-08).
8. As proposed, the buildings, architecture, color and materials, and the conceptual landscaping of the proposed development shall be in accordance with the staff report, exhibits and the project's Details of Request, to the satisfaction of the Planning Division.
9. The proposed uses of the buildings/site shall be in accordance with the Permitted and Conditionally Permitted Principal Uses for the Industrial Park (IP) zone, along with Permitted Accessory Uses and Structures.
10. Signage for the proposed buildings shall be in conformance with the Comprehensive Sign Program prepared for the project. The sign program shall be based on the general signage requirements for the M1 zone, unless specifically modified by the Final Sign Program. Wall signs (size and height standards) would be regulated by the M1 sign standards, in accordance with Sec.33-1395.6 and other requirements of Article 66 of the Zoning Code. As reflected in the plans, monument signage was proposed in four (4), optional locations. This is to provide for more flexibility in signage

placement. Only two (2) monument signs shall be permitted, as authorized by this permit. Monument signs along the north property line, immediately adjacent to the secondary driveway, shall be non-illuminated (internally, externally, and/or grounded) or illuminated in such a manner to minimize lighting impacts to adjacent residential properties to the satisfaction of the Community Development Director.

A final Sign Program shall be submitted to the City for approval as part of the final building plans. A separate sign permit would be required for any building signage in conformance with the City's Sign Ordinance.

11. Any rooftop equipment must be fully screened from all public view utilizing materials and colors which match the building, to the satisfaction of the Director of Planning and Building. The final building plans shall clearly indicate that any proposed rooftop equipment is properly screened. A cross section and roof plan shall be included (which details the location and height of all rooftop equipment) to demonstrate that the height of the parapet is sufficient to screen the mechanical equipment.

Ground mounted equipment should be located to avoid conflict with pedestrian circulation and access, as well as to screen the equipment from view as much as possible, including but not limited to the existing residences, public view from Harmony Grove Road, and views from the Escondido Creek. Appropriate decorative screening shall be placed around the ground-mounted units where visible from the exterior of the project.

12. The on-site parking spaces shall be striped in accordance with the Zoning Code. As indicated on the plans for Option A, 198 on-site spaces shall be provided and maintained in conjunction with this development, as indicated in the Details of Request and site plan. For Option B, 234 shall be provided. The parking provided will allow for all the range of permitted uses within the IP zone.

Minor modifications to the number of parking spaces required may be approved by the Director of Community Development to address any necessary future site plan issues such as, but not limited to address ADA parking, path of travel, health and safety, maintenance or code related issues. If over time, the applicant or project proponent decides to change the occupancy and type of use mix for a particular tenant, applicant/project proponent may have to demonstrate that said parking provisions continue to satisfy all requisite on-site parking needs. Surplus parking that is considered extraneous may be converted to additional landscaping provided said landscaping areas are documented in detailed landscape and irrigation plan(s), site grading and erosion control plan(s), and the Storm Water Quality Management Plan (SWQMP). All onsite parking design modifications shall be designed and constructed to the requirements of Fire Marshal, Planning Director and City Engineer. (Efforts should be made to convert the parking areas, if any, for those most adjacent to the residential area to the north.) Any converted on-site parking or other parking reduction shall not comprise any other condition stated herein.

13. Driveways and fire lanes do not allow for parking, and curb markings and fire lane signs are required, to the satisfaction of the Fire Marshall. Parking for disabled persons shall be provided (including "Van Accessible" spaces) in full compliance with Chapter 2-71, Part 2 of Title 24 of the State Building Code, including signage. Under Option B, disabled accessible parking access aisle to be on the passenger side of the vehicle at Building B.

14. All new utilities shall be underground.

15. The project applicant/owner shall create an easement over the project site to provide appropriate maintenance access to the existing storm water basin/features.

16. Any proposed retaining walls and perimeter or screen walls shall incorporate decorative block materials. This shall be noted on the project improvement plan (i.e., type of block, color, decorative cap, etc.). The trash enclosures also shall utilize a decorative masonry block material. The sides of the enclosures shall incorporate appropriate landscaping to screen the enclosures, to the extent feasible.
17. The project shall provide for appropriate pedestrian and bicycle access to the Escondido Creek Channel to accommodate for the future extension of the Escondido Creek bicycle and pedestrian path. Lunch patio fixtures proposed adjacent to the bicycle and pedestrian path shall accommodate unimpeded access to the pedestrian and bicycle access point.
18. The City of Escondido hereby notifies the applicant that State Law (AB 3158) effective January 1, 1991, requires certain projects to pay fees for purposes of funding the California Department of Fish and Game. If the project is found to have a significant impact to wildlife resources and/or sensitive habitat, in accordance with State law, the applicant should remit to the City of Escondido Planning Division, within two (2) working days of the effective date of this approval ("the effective date" being the end of the appeal period, if applicable) a certified check payable to the "County Clerk," in the amount of \$2,260.25 for a project with a Mitigated Negative Declaration. (These fees include an additional authorized County administrative handling fee of \$50.00, which needs to be included with each and every document submitted or filing.) Please note that the filing fee is adjusted annually based on changes to the price deflator as published by the by the US Department of Commerce. The 2017 total filing/documenting fee of \$2,266.25 is effective January 1, 2017.

Failure to remit the required fees in full within the specified time noted above will result in County notification to the State that a fee was required but not paid, and could result in State imposed penalties and recovery under the provisions of the Revenue and Taxation code. In addition, Section 21089(b) of the Public Resources Code, and Section 711.4(c) of the Fish and Game Code provide that no project shall be operative, vested, or final until all the required filing fees are paid.

19. The project shall be in compliance with all of the following mitigation measures:

Biological Resources Mitigation:

MM-BIO-1: Prior to issuance of grading permits, the following shall be identified on the grading plan: A qualified biologist shall determine if any active raptor nests occur on or in the immediate vicinity of the project site if construction is set to commence or continue into the breeding season of raptors (January 1 to September 1). If active nests are found, their situation shall be assessed based on topography, line of sight, existing disturbances, and proposed disturbance activities to determine an appropriate distance of a temporal buffer.

MM-BIO-2: Prior to issuance of grading permits, the following shall be identified on the grading plan: If project construction cannot avoid the period of January 1 through September 1, a qualified biologist shall survey potential nesting vegetation within the project site for nesting birds prior to commencing any project activity. Surveys shall be conducted at the appropriate time of day, no more than three days prior to vegetation removal or disturbance. Documentation of surveys and findings shall be submitted to the City for review and concurrence prior to conducting project activities. If no nesting birds are observed and concurrence is received, project activities may begin. If an active bird nest is located, the nest site shall be fenced a minimum of 200 feet (500 feet for special status species and raptors) in all directions on-site, and this area shall not be disturbed until after September 1 or until the nest becomes inactive. If threatened or endangered species are observed within 500 feet of the work area, no work shall occur during the breeding season (January 1 through September 1) to avoid direct or indirect (noise) take of listed species.

MM-BIO-3: Prior to the issuance of grading permits, impacts to non-native grassland shall be mitigated at a ratio of 0.5:1 and shall consist of 1.09 acres. Mitigation shall be provided by either (1) preservation of equivalent or better habitat at an off-site location via a covenant of easement or other method approved by the City to preserve the habitat in perpetuity, or (2) purchase of non-native grassland or equivalent habitat credits at an approved mitigation bank, to the satisfaction of the City.

Cultural Resources Mitigation:

MM-CUL-1: An archaeological resources monitoring program shall be implemented, which shall include the following:

1. Prior to issuance of a grading permit, the applicant shall provide written verification to the City of Escondido that a qualified archaeologist has been retained to implement the monitoring program. This verification shall be presented in a letter from the project archaeologist to the City. The City, prior to any preconstruction meeting, shall approve all persons involved in the monitoring program.
2. The qualified archaeologist and a Native American representative(s) shall attend the pre-grading meeting with the grading contractors to explain and coordinate the requirements of the monitoring program. Native American monitors/representatives from the Rincon Band of Luiseño Indians, the San Luis Rey Band of Mission Indians and the Kumeyaay Nation shall be invited to participate in the monitoring program.
3. During the original cutting of previously undisturbed deposits, the archaeological monitor(s) shall be on-site full time to perform inspections of the excavations. The frequency of inspections will depend upon the rate of excavation, the materials excavated, and any discoveries of prehistoric artifacts and features.
4. Isolates and clearly non-significant deposits will be minimally documented in the field so the monitored grading can proceed.
5. In the event that previously unidentified cultural resources are discovered, the archaeologist shall have the authority to divert or temporarily halt ground disturbance operation in the area of discovery to allow for the evaluation of potentially significant cultural resources. The archaeologist shall contact the project manager at the time of discovery. The archaeologist, in consultation with the project manager for the lead agency, shall determine the significance of the discovered resources. The lead agency must concur with the evaluation before construction activities shall be allowed to resume in the affected area. For significant cultural resources, a Research Design and Data Recovery Program to mitigate impacts shall be prepared by the consulting archaeologist and approved by the lead agency, then carried out using professional archaeological methods. If any human bones are discovered, the County coroner and lead agency shall be contacted. In the event that the remains are determined to be of Native American origin, the Most Likely Descendant, as identified by the NAHC, shall be contacted in order to determine proper treatment and disposal of the remains.
6. Before construction activities are allowed to resume in the affected area, the artifacts shall be recovered and features recorded using professional archaeological methods. The archaeological monitor(s) shall determine the amount of material to be recovered for an adequate artifact sample for analysis.
7. All cultural material collected during the grading monitoring program shall be processed and curated according to the current professional repository standards. The collections and associated records shall be transferred, including title, to an appropriate curation facility within San Diego County, to be accompanied by payment of the fees necessary for permanent curation.
8. A report documenting the field and analysis results and interpreting the artifact and research data within the research context shall be completed and submitted to the satisfaction of the lead agency prior to the issuance of any building permits. The report will include Department of Parks and Recreation (DPR) Primary and Archaeological Site Forms.

MM-CUL-2: Prior to commencement of project construction, a qualified paleontologist shall be retained to attend the project pre-construction meeting and discuss proposed grading plans with the project contractor(s). If the qualified paleontologist determines that proposed grading/excavation activities would likely affect previously undisturbed areas of Pleistocene-age alluvial deposits, then monitoring shall be conducted as outlined below.

1. A qualified paleontologist or a paleontological monitor shall be on-site during original cutting of Pleistocene-age alluvial deposits. A paleontological monitor is defined as an individual who has at least one year of experience in the field identification and collection of fossil materials, and who is working under the direction of a qualified paleontologist. Monitoring of the noted geologic unit shall be conducted at least half-time at the beginning of excavation, and may be either increased or decreased thereafter depending on initial results (per direction of a qualified paleontologist).
2. In the event that well-preserved fossils are discovered, a qualified paleontologist shall have the authority to temporarily halt or redirect construction activities in the discovery area to allow recovery in a timely manner (typically on the order of 1 hour to 2 days). All collected fossil remains shall be cleaned, sorted, catalogued and deposited in an appropriate scientific institution (such as the San Diego Museum of Natural History) at the applicant's expense.
3. A report (with a map showing fossil site locations) summarizing the results, analyses and conclusions of the above described monitoring/recovery program shall be submitted to the City within three months of terminating monitoring activities.

Transportation/Traffic Mitigation

MM-TRA-1: The intersection at Harmony Grove Road and Hale Avenue – Prior to the issuance of occupancy permits, restripe the approach on Hale Avenue within the existing 22-foot southbound lane to provide one dedicated right-turn lane (12 feet wide) and one through lane (10 feet wide) extending 125 feet from the stop bar. Appendix H of the TIA shows the conceptual Harmony Grove Road improvements.

MM-TRA-2: The road segment along Harmony Grove Road, between Project Access A and Enterprise Street – Prior to the issuance of occupancy permits, widen Harmony Grove Road within the existing right-of-way along the project frontage to Enterprise Street to provide a two-way left-turn lane serving as a refuge for left-turning vehicles in and out of the project site and nearby industrial driveways, thus allowing for improved flow for through traffic along Harmony Grove Road. From the project driveway to Enterprise Street (a length of approximately 415 feet), widen Harmony Grove Road extending north along the project frontage to provide a 13- to 18-foot northbound lane and an 11-foot two-way left-turn lane for a total paved width varying between 38 and 54 feet.

MM-TRA-3: The road segment along Harmony Grove Road between Enterprise Street and Hale Avenue – Prior to the issuance of occupancy permits, the applicant shall pay a fair share toward the Citracado Parkway Extension Project to improve and redirect the flow of traffic along this roadway.

Tribal Cultural Resources Mitigation

MM-TCR-1: The City of Escondido Planning Division (City) recommends the applicant enter into a Tribal Cultural Resource Treatment and Monitoring Agreement (also known as a pre-excavation agreement) with a tribe that is traditionally and culturally affiliated with the project location (TCA Tribe) prior to issuance of a grading permit. The purposes of the agreement are: (1) to provide the applicant with clear expectations regarding tribal cultural resources and (2) to formalize protocols and procedures between the Applicant/Owner and the TCA Tribe for the protection and treatment of, including but not limited to, Native American human remains, funerary objects, cultural and religious landscapes, ceremonial items, traditional gathering areas and cultural items, located and/or discovered through a monitoring program in conjunction with the construction of the proposed project, including additional archaeological surveys

and/or studies, excavations, geotechnical investigations, grading, and all other ground disturbing activities.

MM-TCR-2: Prior to issuance of a grading permit, the applicant shall provide written verification to the City that a qualified archaeologist and a Native American monitor associated with a TCA Tribe have been retained to implement the monitoring program. The archaeologist shall be responsible for coordinating with the Native American monitor. This verification shall be presented to the City in a letter from the project archaeologist that confirms the selected Native American monitor is associated with a TCA Tribe. The City, prior to any pre-construction meeting, shall approve all persons involved in the monitoring program.

MM-TCR-3: The qualified archaeologist and a Native American monitor shall attend the pre-grading meeting with the grading contractors to explain and coordinate the requirements of the monitoring program.

MM-TCR-4: During the initial grubbing, site grading, excavation or disturbance of the ground surface, the qualified archaeologist and the Native American monitor shall be on site full-time. The frequency of inspections shall depend on the rate of excavation, the materials excavated, and any discoveries of Tribal Cultural Resources as defined in California Public Resources Code Section 21074. Archaeological and Native American monitoring will be discontinued when the depth of grading and soil conditions no longer retain the potential to contain cultural deposits. The qualified archaeologist, in consultation with the Native American monitor, shall be responsible for determining the duration and frequency of monitoring.

MM-TCR-5: In the event that previously unidentified Tribal Cultural Resources are discovered, the qualified archaeologist and the Native American monitor shall have the authority to temporarily divert or temporarily halt ground disturbance operation in the area of discovery to allow for the evaluation of potentially significant cultural resources. Isolates and clearly non-significant deposits shall be minimally documented in the field and collected so the monitored grading can proceed.

MM-TCR-6: If a potentially significant tribal cultural resource is discovered, the archaeologist shall notify the City of said discovery. The qualified archaeologist, in consultation with the City, the TCA Tribe and the Native American monitor, shall determine the significance of the discovered resource. A recommendation for the tribal cultural resource's treatment and disposition shall be made by the qualified archaeologist in consultation with the TCA Tribe and the Native American monitor and be submitted to the City for review and approval.

MM-TCR-7: The avoidance and/or preservation of the significant tribal cultural resource and/or unique archaeological resource must first be considered and evaluated as required by CEQA. Where any significant Tribal Cultural Resources and/or unique archaeological resources have been discovered and avoidance and/or preservation measures are deemed to be infeasible by the City, then a research design and data recovery program to mitigate impacts shall be prepared by the qualified archaeologist (using professional archaeological methods), in consultation with the TCA Tribe and the Native American monitor, and shall be subject to approval by the City. The archaeological monitor, in consultation with the Native American monitor, shall determine the amount of material to be recovered for an adequate artifact sample for analysis. Before construction activities are allowed to resume in the affected area, the research design and data recovery program activities must be concluded to the satisfaction of the City.

MM-TCR-8: As specified by California Health and Safety Code Section 7050.5, if human remains are found on the project site during construction or during archaeological work, the person responsible for the excavation, or his or her authorized representative, shall immediately notify the San Diego County Coroner's office. Determination of whether the remains are human shall be conducted on-site and in situ where they were discovered by a forensic anthropologist, unless the forensic anthropologist and

the Native American monitor agree to remove the remains to an off-site location for examination. No further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent remains shall occur until the Coroner has made the necessary findings as to origin and disposition. A temporary construction exclusion zone shall be established surrounding the area of the discovery so that the area would be protected, and consultation and treatment could occur as prescribed by law. In the event that the remains are determined to be of Native American origin, the Most Likely Descendant, as identified by the Native American Heritage Commission, shall be contacted in order to determine proper treatment and disposition of the remains in accordance with California Public Resources Code section 5097.98. The Native American remains shall be kept in-situ, or in a secure location in close proximity to where they were found, and the analysis of the remains shall only occur on-site in the presence of a Native American monitor.

MM-TCR-9: If the qualified archaeologist elects to collect any tribal cultural resources, the Native American monitor must be present during any testing or cataloging of those resources. Moreover, if the qualified Archaeologist does not collect the cultural resources that are unearthed during the ground disturbing activities, the Native American monitor, may at their discretion, collect said resources and provide them to the TCA Tribe for respectful and dignified treatment in accordance with the Tribe's cultural and spiritual traditions. Any Tribal Cultural Resources collected by the qualified archaeologist shall be repatriated to the TCA Tribe. Should the TCA Tribe or other traditionally and culturally affiliated tribe decline the collection, the collection shall be curated at the San Diego Archaeological Center. All other resources determined by the qualified archaeologist, in consultation with the Native American monitor, to not be tribal cultural resources, shall be curated at the San Diego Archaeological Center.

MM-TCR-10: Prior to the release of the grading bond, a monitoring report and/or evaluation report, if appropriate, which describes the results, analysis and conclusion of the archaeological monitoring program and any data recovery program on the project site shall be submitted by the qualified archaeologist to the City. The Native American monitor shall be responsible for providing any notes or comments to the qualified archaeologist in a timely manner to be submitted with the report. The report will include California Department of Parks and Recreation Primary and Archaeological Site Forms for any newly discovered resources.

Landscaping

1. Five copies of a detailed landscape and irrigation plan(s) shall be submitted to the Engineering Division in conjunction with the submittal of the Final Map and Grading Plans, and shall be equivalent or superior to the concept plan attached as exhibit(s) in the staff report(s). A plan check fee of will be collected at the time of submittal. The required landscape and irrigation plan(s) shall comply with the provisions, requirements and standards in the City's Landscape Standards as well as the State Model Water Efficient Landscape Ordinance. The plans shall be prepared by, or under the supervision of a licensed landscape architect.
2. The landscaping plan shall include specimen sized evergreen trees, to the satisfaction of the Planning Division. Root barriers shall be provided in accordance with the Landscape Ordinance. The applicant and future owners shall be responsible for landscaping and ongoing maintenance (landscape and irrigation) the off-site slopes (within the City property) along the Escondido Creek Channel.
3. Appropriate landscape planters shall be incorporated around certain perimeters of the buildings, as indicated on the concept landscape plan.
4. The off-site slopes on the northern parcel shall include appropriate erosion control (temporary landscaping and irrigation) to the satisfaction of the Engineering Division.

5. The final fencing design shall be included with the landscape plans. Standard chain-link fencing is not allowed. Fencing material should be commensurate to the material and quality of the adjoining industrial property. (Black or green vinyl-clad fencing is acceptable.) Screening shrubs and vines shall be incorporated into the landscape design along eastern side of the perimeter fence to provide additional visual screening into the site.
6. The landscape design for the storm water basins shall be a visual amenity for the project to include an appropriate variety of plants and features (trees, shrubs and groundcover). The landscape should include appropriate outdoor amenities for the employees (i.e., outdoor seating and shade areas). The landscape plan also shall include appropriate access for future pedestrian and bicycle access to the adjacent Escondido Creek.
7. All landscaping shall be permanently maintained in a flourishing manner. All irrigation shall be maintained in fully operational condition.
8. All manufactured slopes, or slopes cleared of vegetation shall be landscaped within thirty (30) days of completion of rough grading. If, for whatever reason, it is not practical to install the permanent landscaping, then an interim landscaping solution may be acceptable. The type of plant material, irrigation and the method of application shall be to the satisfaction of the Planning Division and City Engineer.
9. Prior to occupancy of the buildings, all required landscape improvements shall be installed and all vegetation growing in an established, flourishing manner. The required landscaped areas shall be free of all foreign matter, weeds and plant material not approved as part of the landscape plan.
10. The installation of the landscaping and irrigation shall be inspected by the project landscape architect upon completion. He/she shall complete a Certificate of Landscape Compliance certifying that the installation is in substantial compliance with the approved landscape and irrigation plans and City standards. The applicant shall submit the Certificate of Compliance to the Planning Division and request a final inspection.

Fire

The following conditions shall be incorporated into the final construction plans to the satisfaction of the Fire Marshall.

1. Remove the Fire Department Connection from the RDPA – you will be pressurizing the whole line instead of the fire sprinkler systems.
2. Provide an FDC and PIV for each building, fire department will approve the location.
3. Hydrant spacing shall be no greater than 300', page 2 and AS1.
4. Provide a separate fire underground plan, grading plans shall not be accepted in lieu of an underground plan. Provide a note on the plan. Remove all other items from this plan, i.e. sewer, storm water, and public improvements.
5. Thrust blocks shall be in accordance with NFPA 24.
6. Fire flow shall be 3750 gpm for 3 hours. Correct note 4 on final plans.
7. Provide the building address on the final plans.

8. Buildings with high piled storage shall have exit doors every 100 lineal feet and be in accordance with CFC 3206.6

Engineering

1. The Developer shall provide the City Engineer with a current Preliminary Title Report covering subject property with the submittal of the final engineering plans.
2. The location of all existing on-site utilities and storm drain facilities shall be determined by the Developer's engineer. If a conflict occurs with proposed structures, these facilities shall be relocated subject to approval of the owner of the utility/facility prior to issuance of Building Permits.
3. Improvement plans prepared by a Civil Engineer are required for all public street and sewer improvements and a Grading/Private Improvement plan prepared by Civil Engineer is required for all grading, drainage and private onsite improvement design. Landscaping Plans shall be prepared by a landscape Architect.
4. The developer shall post securities in accordance with the City prepared bond and fee letter based on a final estimate of grading and improvements cost prepared by the project engineer. The project owner is required to provide a Cash Clean Up deposit for all grading, private Improvements and onsite drainage improvements prior to approval of Grading Plans and issuance of Grading Permit. This Cash Clean Up Deposit amount shall be 10% the total cost of the project private improvements, drainage and landscaping. The project owner is required to provide Performance (100% of total public improvement cost estimate), Labor and Material (50% of total public improvement cost estimate) and Guarantee and Warrantee (10 % of total public improvement cost estimate) bonds for all public improvements prior to approval Improvement Plans and issuance of Building Permit. All improvements shall be completed prior to issuance of Occupancy Permit.
5. As surety for the construction of required off-site and on-site improvements, bonds and agreements in a form acceptable to the City Attorney shall be posted by the developer with the City of Escondido prior to the approval of Grading Permit and/or Final Subdivision Map.
6. No construction permits will be issued until Final Plans and the Storm Water Quality Management Plan (SWQMP) have been approved and appropriate securities are deposited and agreements executed to the requirements of the City Engineer and City Attorney.
7. If site conditions change adjacent to the proposed development prior to completion of the project, the developer will be responsible to modify his/her improvements to accommodate these changes. The determination and extent of the modification shall be to the satisfaction of the City Engineer.
8. All public improvements shall be constructed in a manner that does not damage existing public improvements. Any damage shall be determined by and corrected to the satisfaction of the City Engineer.
9. The project owner shall submit to the Planning Department 3 copies of the approved Plot Plan certified by the Planning Department and must be included in the first submittal for final plans plan check, together with a final Storm Water Quality Management Plan (SWQMP) to the Engineering Department.

Street Improvements and Traffic

1. Public streets improvements shall be designed in compliance with City of Escondido Design Standards and requirements of the City Engineer. Private Street improvements shall be designed

in accordance with the requirements of the City Engineer, Fire Marshal and Director of Community Development and shall be shown on the Grading/Private Improvement Plans.

2. The developer shall construct street improvements, including but not limited to, concrete curb, gutter, sidewalk, street lights, paving and base on the following street adjoining the project boundary.

STREET

CLASSIFICATION

Harmony Grove Road

Industrial Street (52' curb to curb)

3. The Developer shall be responsible for construction of project entrances and offsite improvements on Harmony Grove Road in accordance with the project tentative plans and to the requirements of the City Engineer. All required improvement plans shall be approved by the City Engineer and improvements bonded for prior to issuance of Building Permits and shall be constructed prior to project occupancy.
4. The Developer shall be responsible for the design and construction of a traffic signal relocation and modification at the intersection of Harmony Grove Road and Enterprise Street to accommodate the required widening of Harmony Grove Road and the reconstruction of the 30-foot radius curb return on the Southwest corner of this intersection. The developer shall submit traffic signal modification improvement plans for review and approval by the City Engineer and City Traffic Engineer.
5. Access to this project shall be improved with alley-type driveways in accordance with Escondido Standard Drawing G-5-E with a minimum throat width of 28 feet.
6. The Developer shall be responsible to prepare and submit a signing and striping plan for proposed signing and striping improvements on Harmony Grove Road and intersections of Harmony Grove Road and Enterprise Street and Harmony Grove Road and Hale Avenue in accordance with the project tentative plans and to the requirements of the City Engineer.
7. The Developer shall be responsible to remove existing striping on Harmony Grove Road and intersection of Harmony Grove Road and Hale Avenue and slurry seal and re-stripe in accordance with the project tentative plans and traffic study mitigation exhibits and to the requirements of the City Engineer. All required signing and striping plans shall be approved by the City Engineer prior to issuance of Building Permits and shall be constructed prior to project occupancy.
8. Adequate horizontal sight distance shall be provided at all project entrances, and restrictions on landscaping may be required at the discretion of the City Engineer.
9. The Developer will be required to provide a detailed detour and traffic control plans, for all construction within existing right-of-way, to the satisfaction of the City Engineer. This plan shall be approved prior the issuance of an Encroachment Permit for construction within the public right-of-way.
10. Pedestrian access routes shall be provided into the project to the satisfaction of the City Engineer and the City Building Official.
11. All unused driveways shall be removed and replaced with full height curb and gutter and sidewalk in accordance with City standards.
12. All damaged paving on Harmony Grove Road shall be replaced. As directed by the City Engineer, a 1 1/2" grind and 2" min. AC overlay may be required in whole lane widths where multiple utility trench patches associated with this project have degraded the surface of the roadway.

13. The Developer shall be required to construct a 6800 lumen minimum street light in accordance with Escondido Standard Drawing No. E-1-E at each project entrance.
14. All gated entrances and areas shall be designed and improved to the satisfaction of the City Engineer and the Fire Marshal.

Grading

1. A site grading and erosion control plan shall be approved by the Engineering Department. The first submittal of the grading plan shall be accompanied by 3 copies of the preliminary soils and geotechnical report. The soils engineer will be required to indicate in the soils report and on the grading plan, that he/she has reviewed the grading and retaining wall design and found it to be in conformance with his or her recommendations.
2. A site landscaping and irrigation plan shall be submitted to the Engineering Dept. with the 2nd submittal of the grading plans.
3. All onsite parking and access drives are private and shall be designed and constructed to the requirements of Fire Marshal, Planning Director and City Engineer. All proposed onsite project improvements shall be included on Grading Plans and be subject to review and approval by the City Engineer, Fire Marshall and Planning Director.
4. All proposed retaining walls shall be shown on and permitted as part of the site grading plan. Profiles and structural details shall be shown on the site grading plan and the Soils Engineer shall state on the plans that the proposed retaining wall design is in conformance with the recommendations and specifications as outlined in the Geotechnical Report. Structural calculations shall be submitted for review by a Consulting Engineer for all walls not covered by Regional or City Standard Drawings.
5. Erosion control, including silt fences, straw wattles, interim sloping planting, gravel bags, or other erosion control measures shall be provided to control sediment and silt from the project. The developer shall be responsible for maintaining all erosion control facilities throughout the development of the project.
6. The project owner shall be responsible for the recycling of all excavated materials designated as Industrial Recyclables (soil, asphalt, sand, concrete, land clearing brush and rock) at a recycling center or other location(s) approved by the City Engineer.
7. A General Construction Activity Permit is required from the State Water Resources Board prior to issuance of Grading Permit and the WDID number shall be listed on the Grading plans.
8. All blasting operations performed in connection with the improvement of the project shall conform to the City of Escondido Blasting Operations Ordinance.

Drainage

1. A Final Storm Water Quality Management Plan (SWQMP) in compliance with City's latest adopted Storm Water Standards (2015 BMP Manual) shall be prepared for all onsite and newly created impervious frontage and required offsite improvements and submitted for approval together with the final improvement and grading plans. The Storm Water Quality Management Plan shall include hydro-modification calculations, treatment calculations, post construction storm water treatment measures and maintenance requirements.

2. All site drainage with emphasis on the parking and drive way areas shall be treated to remove expected contaminants using a high efficiency non-mechanical method of treatment. The City highly encourages the use of bio-retention basins as the primary method of storm water treatment and hydro-modification compliance. The landscape plans will need to reflect these areas of storm water treatment.
3. All on-site trash enclosure areas shall drain toward a landscaped area and include a roof over the enclosure in accordance with the City's Storm Water Management requirements and to the satisfaction of the City Engineer.
4. All onsite storm drains, storm water storage facilities and bio-retention basins constructed with this project shall be considered private. The responsibility for maintenance of these storm drains and all post construction storm water treatment facilities shall be that of the property owner.
5. The Developer will be required to submit a signed, notarized and recorded copy of Storm Water Control Facility Maintenance Agreement to the City Engineer. The maintenance agreement shall indicate property owner's responsibility for maintenance of all proposed frontage Green Street landscaping, onsite drainage system, storm water treatment and hydro-modification facilities and their drainage systems.

Water Supply

1. This project is located within the Rincon Del Diablo Water District's Improvement District 1 service area. At this time, it is eligible to receive water for fire and normal domestic use following completion of the required facilities in accordance with all District Rules and Regulations. It will be the developer's responsibility to make all arrangements with the Rincon District as may be necessary to provide water service for domestic use and fire protection
2. All onsite detector checks and fire hydrants shall be designed to be located as determined by the Fire Marshal and approved by the Rincon Del Diablo Municipal Water District.

Sewer

1. The Developer is required to design and construct an onsite/offsite public sewer system and access to serve the project in accordance with the City of Escondido Design Standards and to the requirements of Utilities Engineer.
2. All sewer laterals will be considered a private sewer system. The property owner will be responsible for all maintenance of these laterals to the public sewer main.
3. Each Building shall have a separate sewer lateral and all sewer laterals shall be 6" PVC minimum with a standard clean-out at the edge of the public right of way and/or at all angle points and shall be designed and constructed per current UPC.
4. No trees or deep rooted bushes shall be planted within 10' of any sewer lateral or within 15' of any public sewer main.

Easements and Dedications

1. The Developer shall make all necessary dedications for public rights-of-way on the following street contiguous to the project to bring the roadways to the indicated classification.

STREET

CLASSIFICATION

Harmony Grove Road

Industrial (36' CL to R/W)

2. The developer shall dedicate to the public a 20-foot radius corner rounding at the intersection of Harmony Grove Road and Enterprise Street.
3. Necessary public utilities easements for sewer shall be granted to the City. The minimum easement width is 20 feet.
4. All easements, both private and public, affecting subject property shall be shown and delineated on the grading and improvement plans.
5. The project owner is responsible for making the arrangements to quitclaim all easements of record which conflict with the proposed development prior to issuance of building permit, unless approved by the easement owner. If an easement of record contains an existing utility that must remain in service, proof of arrangements to quitclaim the easement once new utilities are constructed must be submitted to the City Engineer prior to issuance of Grading or Building permits, as determined by the City Engineer.

Material necessary for processing a dedication, easement, or quitclaim shall include: a current grant deed or title report, a legal description and plat of the dedication, easement, or quitclaim signed and sealed by a person authorized to practice land surveying (document size) and traverse closure tapes. The City will prepare all final documents.

Repayments, Fees, and Cash Securities

1. The project owner shall be required to pay all development fees, including any repayments in effect prior to approval of the grading or public improvement plans. All development impact fees are paid at the time of Building Permit or as determined by the Building Official.
2. A cash security shall be posted to pay any costs incurred by the City to clean-up eroded soils and debris, repair damage to public or private property and improvements, install new BMPs, and stabilize and/or close-up a non-responsive or abandoned project. Any moneys used by the City for cleanup or damage will be drawn from this security and the grading permit will be revoked by written notice to the project owner until the required cash security is replaced. The cleanup cash security shall be released upon final acceptance of the grading and improvements for this project. The amount of the cash security deposit for the project shall be \$50,000.
3. The project owner shall provide the city with cash contribution in the amount of \$112,200 for the Single 98,500 SF Building option (Option A) or \$94,350 for the 3-Building 86,010 SF option (Option B) towards future construction of Citracado Parkway between Andreasen Drive and Harmony Grove Village Parkway. The required cash contribution shall be deposited with the City Engineer prior to issuance of Building Permit.

Utility Undergrounding and Relocation

1. All existing overhead utilities within the subdivision boundary or along fronting streets shall be relocated underground as required by the Undergrounding Ordinance. The developer may request a waiver of this condition by writing a letter to the City Engineer explaining his/her reasons for requesting the waiver. The developer will be required to pay a waiver fee as adopted by City Council resolution and the existing overhead utilities may still need to be relocated to accommodate the project and/or any required public improvements.
2. All new dry utilities to serve the project shall be constructed underground.
3. The Developer shall sign a written agreement stating that he has made all such arrangements as may be necessary to coordinate and provide utility construction, relocation and undergrounding.

Mike Strong

From: Bill Martin
Sent: Monday, December 05, 2016 5:56 PM
To: Mike Strong
Subject: FW: Escondido Innovation Center - Badiee Development
Attachments: BadieePlanningCommissionLetter.pdf; Osoria Garcia-HarmonyGroveRoad.docx; Royer-HarmonyGrove.pdf

Fyi and for staff report

From: Linda Bailey [mailto:linda@communitystrategiesgroup.com]
Sent: Monday, December 05, 2016 3:54 PM
To: Bill Martin <bmartin@escondido.org>
Cc: Graham Mitchell <gmitchell@escondido.org>; Jay Petrek <jpetrek@escondido.org>
Subject: Escondido Innovation Center - Badiee Development

Hello Bill,

I have attached a letter for the Planning Commission regarding my community outreach for Badiee on their Harmony Grove Road project. I am sorry that I am unable to attend the hearing next Tuesday, but I hope this will help with the commissioners. I am still hoping to connect with the 2 owners that have not responded. I will keep you and the commission posted.

Warm regards,

Linda

Linda Bailey

President

Community Strategies Group, Inc.

1108 Rosehill Court

Escondido, CA 92025

760.445.1323

linda@communitystrategiesgroup.com

CONFIDENTIALITY NOTICE: The information contained in this electronic mail transmission is confidential. It may also be subject to the attorney-client privilege or be privileged work product or proprietary information. This information is intended for the exclusive use of the addressee(s). If you are not the intended recipient, please notify the sender immediately by telephone (760-445-1323) and you are hereby notified that any use, disclosure, dissemination, distribution (other than to the addressee(s)), copying or taking of any action because of this information is strictly prohibited.

Community Strategies Group, Inc.
1108 Rosehill Court
Escondido, CA 92025
760-445-1323
linda@communitystrategiesgroup.com

December 5, 2016

Bill Martin, Director of Community Development
Planning Commissioners
City of Escondido
201 North Broadway
Escondido, CA 92025

RE: Escondido Innovation Center

Dear Mr. Martin & Planning Commissioners,

I have been working with Badiee Development for community outreach to the six neighbors immediately adjacent to the proposed Escondido Innovation Center. Included is a breakdown of my outreach and copies of letters to those neighbors who did not respond to our outreach efforts.

The 6 addresses and their owners are as follows:

- 1) 1839 Harmony Grove Road – Joel & Terri Brown owners – Rental Property – I have had conversations and email communications with Joel Brown and he has no concerns
- 2) 1901 Harmony Grove Road – Denis Royer – Owner – Rental Property
- 3) 1909 Harmony Grove Road – Denis Royer – Owner – Rental Property- I have left messages and sent the attached letter to Denis Royer, owner of both 1901 and 1909 Harmony Grove Road and he is not returned my calls or responded to the attached letter.
- 4) 1919 Harmony Grove Road – Seam & Kim Hartman – Owner Residents – Jenni Cook and I met with Sean and Kim Hartman to discuss the project. John Couvillion, of Badiee Development, and I met with them again on Saturday, December 3 to discuss some areas Badiee could help mitigate concerns.
- 5) 1929 Harmony Grove Road – Osorio Garcia – Owner – Rental Property – I have reached out to Mr. Garcia by phone and the attached letter and have not had a response.
- 6) 1935 Harmony Grove Road – James Formiller – Owner Resident – I met with Mr. Formiller on Sunday, November 20 to explain the project and begin discussion. John Couvillion, of Badiee Development and I met again with Mr. Formiller on Saturday, December 3 to discuss any concerns. We are waiting to hear from Mr. Formiller's daughter to schedule a meeting.

Badiee Development will continue to work with these neighbors throughout the balance of the development and construction process to ensure they are treated fairly. I am very confident that Badiee Development will work with the neighbors to mitigate any reasonable concerns they may have.

I am sorry I am unable to join you on December 13. Please feel free to contact me should you have any questions.

Sincerely,

Linda Bailey

Linda Bailey
President - Community Strategies Group, Inc.
760-445-1323

CC:
Ben Badiee
John Couvillion
Graham Mitchell, City Manager
Jay Petrek, Asst. City Manager

Community Strategies Group, Inc.

November 9, 2016

Osoria Garcia
258 E. Vermont Avenue
Escondido, CA 92025

Dear Osoria Garcia,

I represent Badiee Development, Inc. Records show that you are the owner of record for the homes at 1929 Harmony Grove Road. Badiee Development owns the property directly behind your property.

I would like to set up a time to discuss what is being proposed for the property. Please call or email me at 760-445-1323 or linda@communitystrategiesgroup.com at your earliest convenience.

I look forward to hearing from you soon.

Sincerely,

Linda Bailey

CC:
Bill Martin, Director of Community Development, City of Escondido
John Couvillion, Badiee Development, Inc,

1108 Rosehill Court, Escondido, CA 92025
760-445-1323
linda@communitystrategiesgroup.com

Community Strategies Group

November 9, 2016

Denis Royer
Royer Family Trust
Royann Enterprises LLC
14085 Arbolitos Dr.
Poway, CA 92064

Dear Mr. Royer,

I represent Badiee Development, Inc. Records show that you are the owner of record for the homes at 1901 and 1909 Harmony Grove Road. Badiee Development owns the property directly behind your property.

I would like to set up a time to discuss what is being proposed for the property. Please call or email me at 760-445-1323 or linda@communitystrategiesgroup.com at your earliest convenience.

I look forward to hearing from you soon.

Sincerely,

Linda Bailey

CC:
Bill Martin, Director of Community Development, City of Escondido
John Couvillion, Badiee Development, Inc,

1108 Rosehill Court, Escondido, CA 92025
760-445-1323
linda@communitystrategiesgroup.com